



EDDIE BAZA CALVO
Governor

RAY TENORIO
Lieutenant Governor

Office of the Governor of Guam

June 20, 2013

2013 JUN 27 AM 8:29

The Honorable Judith Won Pat
Speaker, Thirty-Second Guam Legislature
155 Hesler Place
Hagåtña, Guam 96910

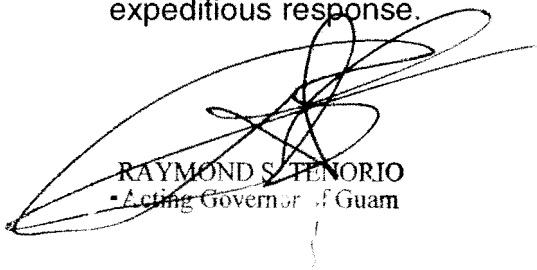
Re: GLUC Zone Change Approval from "A" (Rural) to "C" (Commercial Dwelling) zone on Lot 3, Block 3, Tract 172, Municipality of Dededo, Applicant Chi Construction Inc., Application No. 2012-01

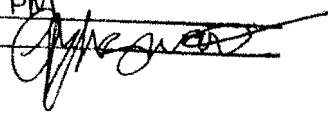
Bueñas Yan Hafa Adai Speaker Won Pat:

I am pleased to submit for you and your colleagues the above-referenced zoning documents for the Legislature's consideration. This is pursuant to **Title 21, Guam Code Annotated (Real Property), Chapter 61 (Zoning Law), Part 4, Section 61647.**

I have **APPROVED** the Applicant, **Chi Construction Inc.**, represented by Ignacio F. Santos, request to re-zone from "A" (Rural) to "C" (Commercial) zone for a proposed commercial building for retail and video store, laundromat and play room for kids, on Lot 3, Block 3, Tract 172, in the Municipality of Dededo.

I am sure you recognize the public benefits of this endeavor, and respectfully ask your expeditious response.


RAYMOND S. TENORIO
- Acting Governor of Guam

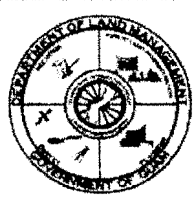
31-11-530
Office of the Speaker
Judith T. Won Pat, Ed. D.
Date 6/26/13
Time 3:11 PM
Received by 

Attachments

530



**GUAM LAND USE COMMISSION
ZONE CHANGE
APPLICATION NO: 2012-01
LOT 3, BLOCK 3, TRACT 172
MUNICIPALITY OF DEDEDO**



COPY

Attachment 1

Space for Recordation

Island of Guam, Government of Guam
Department of Land Management Officer of the Recorder

853309

File for Record is Instrument No.

On the Year 13 Month 06 Day 2 Time 3:35

Recording Fee DE OFFICIO Receipt No. _____

Deputy Recorder Sisa O. Manggar

SUBJECT LOT
LOT 3, BLOCK 3, TRACT 172
DEDEDO
"C" (COMMERCIAL) ZONE



GLUC ZONE CHANGE
APPLICATION NO.: 2012-01
APPLICANT: CHI CONSTRUCTION INC.
PREPARED ON MAY 6, 2013
FROM: "A" (RURAL)

TO: "C" (COMMERCIAL)

LOT: 3

BLOCK: 3

TRACT: 172

MUNICIPALITY: DEDEDO

PLACE NAME: MACHECHE

SCALE: N/A

AMENDMENT NO.: A-178

ZONING MAP NO.: F3-67S39

THE GUAM LAND USE COMMISSION, AT ITS REGULAR HEARING ON MARCH 28, 2013, APPROVED WITHOUT CONDITIONS THE ZONE CHANGE FROM "A" TO "C" ON LOT 3, BLOCK 3, TRACT 172 IN THE MUNICIPALITY OF DEDEDO

- APPROVED IN WHOLE
- APPROVED IN PART
- DISAPPROVED

Lawrence Rivera 5-14-13
LAWRENCE RIVERA DATE
VICE CHAIRMAN
GUAM LAND USE COMMISSION

- APPROVED IN WHOLE
- APPROVED IN PART
- DISAPPROVED

Raymond S. Tenorio
RAYMOND S. TENORIO DATE
Acting Governor of Guam



DIPATTAMENTON MINANE' N TANO'
 (Department of Land Management)
GUBETNAMENTON GUAHAN
 (Government of Guam)



EDDIE B. CALVO
 Governor of Guam

MONTE MAFNAS
 Director

RAY TENORIO
 Lieutenant Governor of Guam

DAVID V. CAMACHO
 Deputy

Street Address:
 590 S. Marine Corps Drive
 ITC Building,
 Tamuning, GU 96913

Mailing Address:
 P.O. Box 2950
 Hagåtña, GU 96932

Website:
<http://dlm.guam.gov>

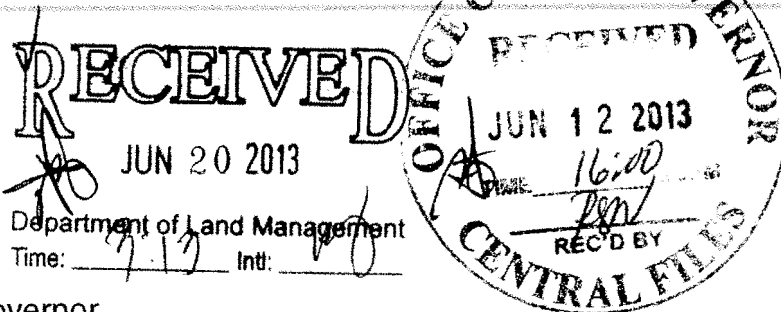
E-mail Address:
dlm@mail.gov.gu

Telephone:
 671-649-LAND (5263)

Facsimile:
 671-649-5383

June 3, 2013

Memorandum



To: The Governor

From: Acting, Executive Secretary, Guam Land Use Commission

Subject: **GLUC Zone Change Approval from "A" (Rural) to "C" (Commercial) zone on Lot 3, Block 3, Tract 172, Municipality of Dededo**

Re: **Chi Construction, Inc.
 Application No. 2012-01**

Bueñas Yan Hafa Adai Governor:

Submitted for your consideration and action is Zone Change Application 2012-01, affecting Lot 3, Block 3, Tract 172, in the Municipality of Dededo. The Applicant, Chi Construction Inc., represented by Ignacio F. Santos, request for a Zone Change for a proposed commercial building for retail and video store, laundromat and play room for kids,

Application chronology is as follows:

- October 17, 2011 - Application officially accepted
- November 3, 2011- Reviewed by Application Review Committee (ARC)
- June 26, 2012 - Public Hearing, Dededo Senior Citizen Center
- March 28, 2013 - Guam Land Use Commission (GLUC) Public Hearing (approval of the Zone Change).

CFD 0613-2333

Memorandum to the Governor

Zone Change for Chi Construction, Inc.

Application No. 2012-01

Lot 225-R2, Municipality of Piti

June 3, 2013

Page 2 of 2

Pursuant to the Guam Code Annotated, Title 21 (Real Property), Chapter 61 (Zoning Law), §61634 (Decision by the Commission), which states, *"If the application is approved in whole or in part by the Commission, the same shall be forwarded to the Governor who may approve or disapprove the proposed change in whole or in part"*, this application is being sent to you for your action.

This Application is being sent to you for decision pursuant to Title 21, GCA, Chapter 61 (Zoning) Section 61634.

Contact Land Planning Division at 649-5263, extension 371, should you have Additional questions or need further clarification.

Si Yu'os Ma'ase



David V. Camacho

Acting, Executive Secretary, GLUC

Attachments:

1. Amendment No. **A-178**, Zoning Map No. **F3-67S39**
2. Zone Change Application
3. Formal Letter(s) to Mayors for Public Hearing (dated June 6, 2012)
4. Attendance Sheet(s) of Public Hearing (dated June 26, 2012)
5. Staff Report with Summary of ARC Position Statements
6. GLUC Agenda Notice – PDN (dated March 21st and 26th, 2012)
7. GLUC Agenda of March 28th, 2013 – Disposition
8. GLUC Minutes for March 28th, 2013 (Doc. No. 851359)
9. Notice of Action – Findings of Facts
 - * Exhibit A – Affidavit of Publication
 - Attachment A – Official Memorandum to PDN (dated June 5th, 2012)
 - Attachment B – Copy of Public Hearing Advertisement (dated June 16th, 2012)
 - * Exhibit B – Affidavit of Mailing
 - Attachment A – U.S. Postal Certified Receipts (dated June 8th, 2012)
 - Attachment B – Official Notice of Public Hearing (dated June 5th, 2012)



Office of the Governor of Guam

June 20, 2013

The Honorable Judith Won Pat
Speaker, Thirty-Second Guam Legislature
155 Hesler Place
Hagåtña, Guam 96910

Re: GLUC Zone Change Approval from "A" (Rural) to "C" (Commercial Dwelling) zone on Lot 3, Block 3, Tract 172, Municipality of Dededo, Applicant Chi Construction Inc., Application No. 2012-01

Bueñas Yan Hafa Adai Speaker Won Pat:

I am pleased to submit for you and your colleagues the above-referenced zoning documents for the Legislature's consideration. This is pursuant to **Title 21, Guam Code Annotated (Real Property), Chapter 61 (Zoning Law), Part 4, Section 61647.**

I have **APPROVED** the Applicant, **Chi Construction Inc.**, represented by Ignacio F. Santos, request to re-zone from "A" (Rural) to "C" (Commercial) zone for a proposed commercial building for retail and video store, laundromat and play room for kids, on Lot 3, Block 3, Tract 172, in the Municipality of Dededo.

I am sure you recognize the public benefits of this endeavor, and respectfully ask your expeditious response.


RAYMOND S. TENORIO
Acting Governor of Guam

Attachments



DIPĀTTAMENTON MINANĀHAN TĀNO'
 (Department of Land Management)
GUBETNAMENTON GUĀHAN
 (Government of Guam)



EDDIE B. CALVO
 Governor of Guam

MONTE MAFNAS
 Director

RAY TENORIO
 Lieutenant Governor of Guam

Street Address:
 590 S. Marine Corps Drive
 ITC Building,
 Tamuning, GU 96913

June 6, 2012

Mailing Address:
 P.O. Box 2950
 Hagåtña, GU 96932

Honorable Melissa B. Savares
 Mayor of Dededo

[2012-01]

Dear Mayor:

Website:
<http://dlm.guam.gov>

The following application has been filed with the Guam Land Use Commission (GLUC) by:

E-mail Address:
dlm@mail.gov.gu

The Applicant, Chi Construction Inc., represented by Ignacio F. Santos, request for a Zone Change from "A" (Rural) to "C" (Commercial) zone for a proposed commercial building for retail and video store, laundromat and play room for kids, on Lot 3, Block 3, Tract 172, in the Municipality of Dededo, under Application No. 2012-01.

Telephone:
 671-649-LAND (5263)

For any **Zone Change** requests that may have adverse impact on the public's interests, the GLUC is mandated by law to conduct a public hearing in the municipality where the subject lot is located. Accordingly, we would like to schedule a public hearing to be held at the **Dededo Senior Citizen Center, Tuesday, June 26, 2012 at 6:00 p.m.**

Facsimile:
 671-649-5383

Please confirm the time, date and place.

Si Yu'os Ma'ase,

MARVIN Q. AGUILAR
 Guam Chief Planner, Acting

Attachment:
 Application Packet

Yvonne Acda
 6/14/12

RECEIVED
 6/14

Attachment 3

**DEPARTMENT OF LAND MANAGEMENT - LAND PLANNING DIVISION
 GUAM LAND USE COMMISSION (GLUC)/GUAM SEASHORE PROTECTION COMMISSION (GSPC)
 PUBLIC HEARING ATTENDANCE SHEET**

PLACE: Dededo Senior Citizen Center

DATE: June 26, 2012

6:00PM

TIME: 7:00 PM

APPLICATION TYPE: Zone Change APPLICATION NO: 2011-70

DESCRIPTION: Zone Change from "A" to "C" to operate construct a commercial building to house a retail & video store and landromat.

APPLICANT/REP: CHI CONSTRUCTION Represented by IGNACIO SANTOS

LOT NO(s): 3, Block 3, Tract 172, Dededo

PRINT NAME	MAILING ADDRESS/LOT #	TELEPHONE
1. Robert D. Tongson	P.O. Box 2436 Maganua, Guam 96932	637-7178
2. EUGENE E. JUNG	P.O. BOX 1241, TAMUNING, GUAM 96931 #92, PGP LASPALMAS, PHI	482-2070
3. John P. Bouchard	Po Box 10047 TAMUNING, GUAM 96931	637-3052
4. PETER HY CHANG	P.O. BOX 20910 GMT GUAM 96924	888-4789
5.		
6.		
7.		
8.		
9.		
10.		
11.		
12.		

DEPARTMENT OF LAND MANAGEMENT - LAND PLANNING DIVISION
GLUC/GSPC - PUBLIC HEARING ATTENDANCE SHEET

PRINT NAME	MAILING ADDRESS/LOT #	TELEPHONE
13.		
14.		
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DIPATTAMENTON MINAN AN TANO'
 (Department of Land Management)
GUBETNAMENTON GUAHAN
 (Government of Guam)



Street Address:
 590 S. Marine Corps Drive
 Suite 733 ITC Building
 Tamuning, GU 96913

EDDIE BAZA CALVO
 Governor

MONTE MAFNAS
 Director

RAY TENORIO
 Lieutenant Governor

DAVID V. CAMACHO
 Deputy Director

March 18, 2013

Mailing Address:
 P.O. Box 2950
 Hagåtña, GU 96932

MEMORANDUM

TO: Chairman, Guam Land Use Commission

FROM: Guam Chief Planner

SUBJECT: Commission Brief - Application No. 2012-01 –Zone Change Request from “A” to “C” for Lot 3, Block 3, Tract 172, Municipality of Dededo

Website:
<http://dlm.guam.gov>

The subject application was scheduled for review by the Guam Land Use Commission on its regular meeting of January 24, 2013. At the request of Mr. Ike Santos, representative for Chi Construction, Inc., the application was withdrawn from the agenda as the project sign was missing from the site and therefore notice requirements were not fully complied with for the commission to make a determination on the zone change request.


E-mail Address:
dlmdir@dlm.guam.gov

The applicant’s representative requested that there be postponement for the review of this application in order for him to place a new sign and thus comply with Section 61633, Title 21, GCA Chapter 61, Hearing Date-Notice.

Telephone:
 671-649-LAND (5263)

Also, attached please find Dededo Municipal Planning Council Resolution No. 2012-07 relative to the Dededo Municipal Planning Council supporting the Zone Change of Lot 3, Block 3, Tract 172 from “A” (Rural) to “C” (Commercial) to build a commercial building for retail and video store, laudromat and play room for children in the Municipality of Dededo.

Facsimile:
 671-649-5383


 Marvin Q. Aguilar
 Acting Chief Planner

ATTACHMENT: Dededo Municipal Planning Council Resolution 2012-07

Case Planner: Celine Cruz-Aguilar

PAGE 02

**DEDEDO MUNICIPAL PLANNING COUNCIL
MUNICIPALITY OF DEDEDO**

RESOLUTION NO. 2012-07

Introduced by:
Melissa B. Savares, Chairperson
Andrew Peter A. Benavente, Co-Chairperson

MEMBERS

Acda, Romy
Artero, Pascual
Chan, Jose Arthur Jr.
Cruz, Ricardo P.
Gines, Bernardo

Mafnas, Frank
San Nicolas, Joseph
San Nicolas, Laura
Tainatongo, Carmen
Wusstig, Ernie

Relative to the Dededo Municipal Planning Council (DMPC) supports the Zone Change of Lot 3, Block 3, Track 172 from "A" (Rural) to "C" (Commercial) to build a commercial building for retail and video store, laundromat and play room for children in the Municipality of Dededo.

BE IT RESOLVED BY THE DEDEDO MUNICIPAL PLANNING COUNCIL OF DEDEDO:

WHEREAS, on Tuesday, June 26, 2013, a public hearing was conducted by the Department of Land Management to address the DOL Application No. 2012-01 at the Dededo Senior Citizen Center with approximately seven (7) residents attending; and

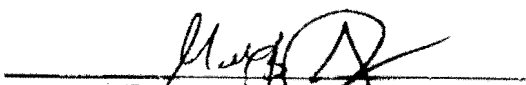
WHEREAS, on August 14, 2012, members of the DMPC discussed comments and suggestions by residents to have retail services occupy the commercial building that could be beneficial to the families living in the neighborhood; and

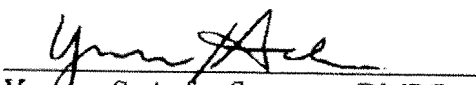
WHEREAS, members of the DMPC recommended to restrict adult entertainment operations at this commercial building, therefore

BE IT RESOLVED that the Dededo Municipal Planning Council supports the request this zone change for Lot 3, Block 3, Track 172 from "A" (Rural) to "C" (Commercial) to build a commercial building; and therefore be it

FURTHER RESOLVED, that the Chairperson of the Dededo Municipal Planning Council certify to and the secretary attest the adoption hereof and that copies of the same be therefore transmitted to the Department of Land Management and the Guam Territorial Land Use Commission.

DULY RECORDED AND REGULARLY ADOPTED BY THE DEDEDO MUNICIPAL PLANNING COUNCIL ON THIS 14 DAY OF August 2012.


MELISSA B. SAVARES
MAYOR & CHAIRMAN


Yvonne S. Acda, Secretary DMPC

Location Map
Lot 3, Block 3, Tract 172
Dededo



HOJIN SONG, 689-9999
LAS PALMAS CONDO
135 KAYON NUHOT, LAS PALMAS DEDEDO.

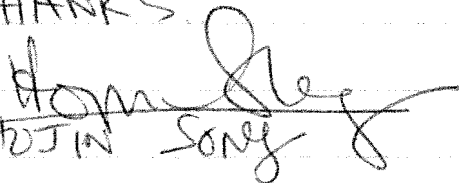
JUNE 26, 2012

DEAR MR CHAIRMAN

I'm a residence of LAS PALMAS CONDOS.
I disagree with ZONE CHANGE.

1. INCREASE TRAFFIC AND HOLD UP TRAFFIC
2. ROAD NARROW AND SURFACE CONDITION IS BUMP AND UNEVEN.
3. THERE ARE TOO MANY CONVIENIENCE STORE NEAR EACH OTHER.
4. INCREASE CRIME IF ALCOHOL IS SOLD.

THANKS


HOJIN SONG

RECEIVED

AK
6-26-12
Came

PGD LAS PHASE I & II HOMEOWNERS ASSOCIATION
P.O. BOX 7099
TAMUNING, GUAM 96931

RECEIVED

6/29/2012

BUM
C. Kelly

re line:
pls provide
response as
requested.

10/4

nk

Department of Land Management
Land Planning Division
P.O.Box 2950
Hagatna, Guam 96932
Attn: Chairman or Executive Secretary GLUC

June 27, 2012

rcourtney@guamproperties.com

Dear Sir/Madam

This is in response to the letter dated June 5, 2012 regarding a request for a Zone change from a Rural Zone ("A") to a Commercial Zone ("C") on Lot 3, Block 3, Track 172, in the Municipality of Dededo.

The Board of Directors in the June 2012 meeting has unanimously voted against the Zone change from a Rural to a Commercial Zone for the reasons stated.

- Dededo is inundated with commercial buildings that can adequately support the business needs of its people.
- To over-commercialize the village is to negatively impact the social quality of the residents.
- Dededo will lose its friendly atmosphere and eventually open itself to social ills.
- Currently the island of Guam is not financially stable, and there is a possibility that the business ventures may not succeed as the company visualized. Is there in place a provision that these buildings will not be abandoned, and become eyesores? Guam has remnants of buildings left standing for decades..
- There is no mention about safety concerns and equipment that are children friendly in the proposed playroom for kids.

The Board of Directors was not able to attend the public hearing scheduled for June 26, 2012 due to inadequate notice. Had there been a 30 day notice as required by Law, we would have attended to voice our opposition.

Please note that PGD I & II Home Owner Association is made up of 199 homes.

Sincerely,
Nilda S. Constantino
Nilda Constantino
Secretary, PGD Board of Directors

nk
10-4-12

NOTICE TO REZONE

PUBLIC NOTICE

AN APPLICATION HAS BEEN FILED WITH THE GUAM LAND USE COMMISSION -GLUC- FOR A
ZONE CHANGE

APPLICATION DESCRIPTION : To construct a Commercial building consisting of a Laminated,
OWNER : Chi Construction Video and Retail Activities.

DEVELOPER : Chi Construction c/o Ignacio F. Santos

LOT, BLOCK, TRACT, MUNICIPALITY : Lot 3, Block 3, Tract 172 Dededo

PROPOSED CHANGE OF ZONE : "A" (Rural) to "C" (Commercial)

	DATE:	TIME:	PLACE:
PUBLIC HEARING:	6/26/2012	6:00 pm	Dededo Mayor's Office
GLUC MEETING:	3/28/2013	1:30 pm	Land Management Conf. Room



DIPATTAMENTON MINA' HAN TANO'
 (Department of Land Management)
GUBETNAMENTON GUAHAN
 (Government of Guam)



MONTE MAFNAS
 Director

Street Address:
 590 S. Marine Corps Drive
 Suite 733 ITC Building
 Tamuning, GU 96913

EDDIE BAZA CALVO
 Governor

RAY TENORIO
 Lieutenant Governor

January 14, 2013

MEMORANDUM

Mailing Address:
 P.O. Box 2950
 Hagåtña, GU 96932

TO: Chairman, Guam Land Use Commission

FROM: Guam Chief Planner

SUBJECT: Staff Report - Application No. 2012-01 – Zone Change from "A" to "C" – Lot 3, Block 3, Tract 172, Municipality of Dededo

Website:
<http://dlm.guam.gov>

E-mail Address:
dlmdir@dlm.guam.gov

Telephone:
 671-649-LAND (5263)

Facsimile:
 671-649-5383

1. PURPOSE:

- A. Application Summary:** The applicant, Chi Construction, Inc., represented by Ignacio Santos, is requesting approval for a Zone Change of Lot 3, Block 3, Tract 172 in the municipality of Dededo, from "A" (Rural) to "C" (Commercial) Zone to construct a commercial building to house a retail and video store and Laundromat.
- B. Legal Authority:** Sections 61630 to 61638 of Chapter 61 (Zoning Law), Title 21, GCA (Real Property)

2. FACTS:

- A. Location:** The project location is located within the Municipal District of Dededo. It is specifically located along Macheche Avenue or approximately 685 feet north from the intersection of Alegeta Street and Macheche Avenue. Located across the project site is the northern entrance of Las Palmas, a multi family development. The ingress and egress to the project site (Macheche Avenue) is a 70 feet wide public access and utility easement which connects Route 1 to Route 15. See **ATTACHMENT 1.**
- B. Lot Area:** 1.61 Acres, 5,966 Square Meters or 64,217 Square Feet.
- C. Present Zoning:** "A" (Rural) Zone
- D. Field Description:** The proposed site is presently vacant with no permanent or temporary structures within its boundaries. The

property has been previously cleared however, due to a lack of maintenance the property is currently occupied with overgrown vegetation.

- E. Masterplan:** Residential – Very Low
- F. Community Design Plan:** Conservation-Open Space
- G. Previous Commission Action:** None.
- H. Departmental Action:** None.

3. APPLICATION CHRONOLOGICAL FACTS:

- A. Date Application Accepted:** October 17, 2011
- B. Date Heard By ARC:** November 3, 2011
- C. Public Hearing Results:** On June 26, 2012 at 6:04 pm, the Public Hearing was conducted at the Dededo Senior Citizen Center. Present were the Applicants' Representative, Mr. Ike Santos, Mayor Melisa Savares, and four concerned citizens.

The Applicant's Representative presented the proposed project's necessity for a zone change to allow for the construction of a commercial building complex to house a video store, retail store, Laundromat and storage space to support the business activities. The owner has also planned for a six foot CMU wall to be installed to minimize impacts such as noise, rodents, etc. Mr. Santos noted that between two busy residential areas (Las Palmas and Latte Heights), there are no other commercial outlets.

A concerned citizen stated that it would be a good complex but infrastructure needs to be in place; if the right stores were also put in, this would be a benefit to the immediate community. He also said that it was along a main road and that you would want stores to be along the main road.

Mayor Savares mentioned that there are plans to widen Macheche Road within the next year. Although a traffic sign is installed, it will not be operational until a (flashing) signal light is in place at the top of the hill to warn motorists of the traffic signal light below.

On June 26, 2012, a letter of objection was received from Mr. Hojin Song (**See Attachment 2**). With no other questions or concerns, the hearing was closed at 6:51 PM.

4. **STAFF ANALYSIS:** As proposed by this application, the request is to change the existing "A" (Rural) zone to "C" (Commercial) in order to construct a commercial building to house a Retail and Video Store and Laundromat. In justifying a zone change, the criteria of **Public Necessity, Public Convenience and General Welfare** must be satisfactorily addressed. Our analyses are as follows:

PUBLIC NECESSITY and CONVENIENCE

As to the "Public Necessity" criteria was the need that was evident for the more expanded commercial uses to service the immediate and surrounding community. Large housing developments such as Las Palmas, Latte Heights and Latte Plantation as well as other smaller residential developments would be its immediate clientele with the adjacent villages (Yigo and Mangilao) as potential customers as well. Other use opportunities exist with the proposed commercial zone would allow for business or professional offices, repair and service shops, etc. that may be a need for the area.

GENERAL WELFARE

The applicant submits the general welfare of the public is protected by the requested zone change since it will not reduce any zoning standards in the immediate vicinity. The predominant land uses surrounding and bordering the project site are single and multi-family dwellings. With this in mind, the proposed zone change will create a more stable community environment providing for an orderly development scheme. The emplacement of full improvements ensures the general safety and welfare of adjacent property owners.

The proposed development will not be unreasonably detrimental, as the zone change is not anticipated to adversely alter the surrounding area drastically, artificially increase property values or decrease the government's ability to construct service or maintain the infrastructure in the area. The proposed development will provide for a well-planned and integrated development and not de-characterize the surrounding area. The development will not detract from the land uses of the adjacent lots.

The developmental trends on Guam have received numerous requirements by the Government Agencies. Requirements on parking facilities, storm

drainage and sewer hook-ups are now being enforced for new development projects. These components are essential to ensure an orderly development of a project and the general protection of adjacent landowners. The project has and will integrate these concerns in its development plans.

LACK OF AN UPDATED COMPREHENSIVE LAND USE PLAN: In recent cases, the Commission has emphasized the need to update our land use plan to provide better guidance in matter concerning change of zone. In 1966, the Guam Master Plan designates the immediate area as “Residential – very low”. The Guam Comprehensive Development Plan or *Kabales Na Planu Para Guahan* (1978) also designates the immediate area as “Residential – very low” and projected land uses for the Macheche and Adacao area for conservation use by the year 2000. This of course, is inconsistent with the existing land uses of the immediate area as the obvious landscape reflects multi-family high density housing structures such as condominiums and apartments to include the Las Palmas Subdivision and Perlita Court. The area in general has seen steady high-density growth, and as such, infrastructure improvement plans today reflect an anticipation of further population increases for this area. Such is again obvious in recognizing Macheche Avenue as a main thoroughfare into and from the municipalities of Mangilao, Barrigada, and Tamuning; more so as highway planning for the immediate area recognizes the need for traffic signalization at the intersection of Macheche and Alageta.

I Kabales Planu Para Guahan (IKPPG) clearly recognize existing residential sprawls such as the Latte Heights Subdivision, essentially because the subdivision was in existence at the time the plan was published. This is important with respect to the fact that first thoughts of any comprehensive planning begins with an understanding of existing attributes. The intended plan(s) for this area cannot be applied to present conditions for obvious reasons. However discerning, the fact remains that certain land use realities exists and with them, the lack of services that would otherwise support the level of current and expected growth. Most desirable in the absence of guidance planning approach assesses options with the intent to provide necessary services to support existing land use conditions and in such a way as to best persuade public necessity, convenience, and general welfare.

The applicant does not propose a retail store, but instead a variety of services that are otherwise not readily available. Notwithstanding, concerns persist regarding the permanence of a zone change and potential that once a commercial zone is established the property owner or lessee would fall reliant on the government to allow commercial activities non-conducive to the immediate community overlay. This is true. Yet, we are of the mindset that such activities, such as the sale of alcohol will also rely on other approving

Continuation of Memorandum

RE: Staff Report - Application No. 2012-01 – Zone Change

Lot 3, Block 3, Tract 172, Municipality of Dededo

GLUC Hearing Date: **January 24, 2013**

Date of Preparation of Staff Report: January 14, 2013

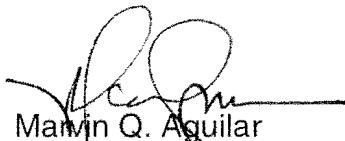
Page 5 of 5

entities such as the Alcohol Board of Control which subsequently allows such activities based on the certification of the Department of Public Health, Attorney General, Department of Land Management, and the Municipal's Planning council.

This alludes to our position persistent that non-residential land use activities best fits areas immediate to major roadways, to which Macheche Avenue has evolved into and any non-residential activity allowed should be that which economically benefits the immediate community overlay. In this respect, we find that the proposed zone change to commercial is not out of character for the area. Infrastructure impacts are not expected to greatly increase and/or place a burden on existing infrastructure systems as provided by input from the specific infrastructure agency that have "no objection" with conditions and granting a favorable action for the development to move forward if approved.


We have also reviewed the submitted ARC positions and find that there are "No Objections with conditions" for the zone change. We find within the context of the application, justification that the public necessity, convenience and general welfare, supports a positive action on the zone change request.

5. **RECOMMENDATION:** Base on our assessment of this proposal, we recommend **APPROVAL.**


Marvin Q. Aguilar
Chief Planner, Acting

ATTACHMENTS

1. **Location Map**
2. **Letter of Objection – Hojin Song**

Case Planner: C. Aguilar 

Location Map
Lot 3, Block 3, Tract 172
Dededo



HOJIN SONG, 689-9999

LAS PALMAS CONDO

135 KAYON NUHOT, LAS PALMAS DEDEDO.

JUNE 26, 2012

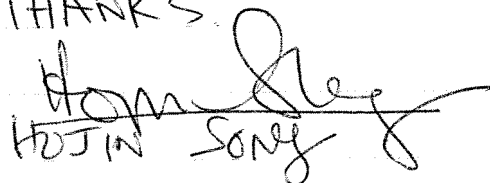
DEAR MR CHAIRMAN

I'm a residence of LAS PALMAS CONDOS.

I disagree with ZONE CHANGE.

1. INCREASE TRAFFIC AND HOLD UP TRAFFIC
2. ROAD NARROW AND SURFACE CONDITION IS BUMP AND UNEVEN.
3. THERE ARE TOO MANY CONVIENIENCE STORE NEAR EACH OTHER.
4. INCREASE CRIME IF ALCOHOL IS SOLD.

THANKS.


HOJIN SONG

RECEIVED

CS
6-26-12
Came

PGD LAS PHASE I & II HOMEOWNERS ASSOCIATION
P.O. BOX 7099
TAMUNING, GUAM 96931

6/29/2012

BUM
Cruz

Uline:
Pls provide
response as
requested.
10/14
M/S

Department of Land Management
Land Planning Division
P.O.Box 2950
Hagatna, Guam 96932
Attn: Chairman or Executive Secretary GLUC

June 27, 2012

rcourtney@guamproperties.com

Dear Sir/Madam

This is in response to the letter dated June 5, 2012 regarding a request for a Zone change from a Rural Zone ("A") to a Commercial Zone ("C") on Lot 3, Block 3, Track 172, in the Municipality of Dededo.

The Board of Directors in the June 2012 meeting has unanimously voted against the Zone change from a Rural to a Commercial Zone for the reasons stated.


- Dededo is inundated with commercial buildings that can adequately support the business needs of its people.
- To over-commercialize the village is to negatively impact the social quality of the residents.
- Dededo will lose its friendly atmosphere and eventually open itself to social ills.
- Currently the island of Guam is not financially stable, and there is a possibility that the business ventures may not succeed as the company visualized. Is there in place a provision that these buildings will not be abandoned, and become eyesores? Guam has remnants of buildings left standing for decades..
- There is no mention about safety concerns and equipment that are children friendly in the proposed playroom for kids.

The Board of Directors was not able to attend the public hearing scheduled for June 26, 2012 due to inadequate notice. Had there been a 30 day notice as required by Law, we would have attended to voice our opposition.

Please note that PGD I & II Home Owner Association is made up of 199 homes.

Sincerely,

Nilda Constantino
Secretary, PGD Board of Directors


10.4.12



DIPATTAMENTON MINAHAN TANO'
 (Department of Land Management)
GUBETNAMENTON GUAHAN
 (Government of Guam)



MONTEL MAFNAS
 Director

Street Address:
 590 S. Marine Corps Drive
 ITC Building,
 Tamuning, GU 96913

EDDIE B. CALVO
 Governor of Guam

RAY TENORIO
 Lieutenant Governor of Guam

*Rec'd
 6/13/12*

June 5, 2012

Mailing Address:
 P.O. Box 2950
 Hagatna, GU 96932
 [2012-01]

PGD VILLAGE HOMEOWNERS ASSOC.
 T14114 COMMON AREA: "E" C/O: CENTURY 21 REALTY MANAGEMENT
 P.O. Box 7988
 Tamuning, GU 96931

Dear Sir/Madam:

Website:
<http://dlm.guam.gov>

An application has been filed with the Guam Land Use Commission (GLUC) by:

E-mail Address:
dlm@mail.gov.gu

The Applicant, Chi Construction Inc., represented by Ignacio F. Santos, request for a Zone Change from "A" (Rural) to "C" (Commercial) zone for a proposed commercial building for retail and video store, laundromat and play room for kids, on Lot 3, Block 3, Tract 172, in the Municipality of Dededo, under Application No. 2012-01.

For any **Zone Change**, the Guam Land Use Commission is mandated by law to conduct a Public Hearing in the Municipal District where the property is located. Accordingly, a Public Hearing on this application is scheduled to be held:

Telephone:
 671-649-LAND (5263)

PLACE: Dededo Senior Citizen Center
DATE: June 26, 2012, Tuesday
TIME: 6:00 p.m.

Facsimile:
 671-649-5363

As a property owner identified within 500 feet of this proposed development, we invite you to attend this Public Hearing and participate in the review process and to express your opinion on this application. If you are unable to attend the Public Hearing, please submit written comments to our office on or before, **June 25, 2012, Monday**. Written comments should be addressed to:

Chairman, GLUC or Executive Secretary, GLUC
c/o Department of Land Management
Land Planning Division
P.O. Box 2950, Hagatna, Guam 96932

Accordingly, a GLUC Hearing for this application will be advertised in the Pacific Daily News open ad, Government meeting, and the website.


June 6, 2012
Public Hearing Notice for Residents
Chi Construction Inc. - Application No. 2012-01
Page 2 of 2

Should the public hearing be canceled due to unforeseen circumstances beyond our control, please consult with the village mayor's office.

You may review the development application at our office or your Mayor's Office.

Thank you for your interest.

Si Yu'os Ma'ase,



MARVIN Q. AGUILAR
Guam Chief Planner, Acting



DIPATTAMENTON MINAMEHAN TANO'
 (Department of Land Management)
GUBETNAMENTON GUAHAN
 (Government of Guam)



Street Address:
 590 S. Marine Corps Drive
 Suite 733 ITC Building
 Tamuning, GU 96913

EDDIE BAZA CALVO
 Governor

MONTE MAFNAS
 Director

RAY TENORIO
 Lieutenant Governor

DAVID V. CAMACHO
 Deputy Director

January 14, 2013

MEMORANDUM

Mailing Address:
 P.O. Box 2950
 Hagåtña, GU 96932

TO: Guam Land Use Commission (GLUC) Members
FROM: Chairman, Application Review Committee (ARC)
SUBJECT: Summary of Position Statements by ARC Members
RE: Application No 2012-01: Zone Change Application, Lot 3, Block 3, Tract 172, Municipality of Dededo

Website:
<http://dlm.guam.gov>

Listed below are the **APPLICATION REVIEW COMMITTEE POSITION STATEMENTS** as submitted:

E-mail Address:
dmdir@dlm.guam.gov

PERMANENT VOTING MEMBERS

Telephone:
 671-649-LAND (5263)

1. **DEPARTMENT OF LAND MANAGEMENT:** DLM recommends **Approval** with the following condition:
 That the applicant adheres to the ARC conditions as stipulated on their Position Statements.
2. **GUAM ENVIRONMENTAL PROTECTION AGENCY**
 No position statement has been received as of January 14, 2013.
3. **DEPARTMENT OF AGRICULTURE**
 The Department of Agriculture has no objections, however, encourages the planting of trees to provide shade as well as promoting the use of indigenous tree species that requires no pesticides for maintenance.
4. **GUAM WATERWORKS AUTHORITY**
 No position statement has been received as of January 14, 2013.
5. **GUAM POWER AUTHORITY**
 Guam Power Authority has reviewed the application and submits the following position statement:
 - A. Comments and Recommendations Concerning GPA requirements:
 GPA has no objection, however, customer is required to comply with the following pursuant to the National Electric Code, national Electric Safety Code and GPA's Service Rules and Regulations:



- Coordinate overhead/underground power requirements with GPA Engineering for new structures.
 - Maintain minimum clearances as defined by the current edition of the National Electrical Safety Code and National Electric Code.
 - Maintain adequate clearance between any structures and electric utility easements in accordance with NESC and GPA requirements.
 - Developer/Owner shall provide necessary electric utility easements to GPA prior to final connection.
 - Provide scheduling and magnitude of project power demand requirements for new loads.
 - All relocation costs for GPA's facilities, if necessary, is 100% chargeable to the applicant including but not limited to labor and materials.
2. Primary Distribution overhead and underground line extensions and GPA service connections must adhere to the guidelines outlined in the current issue of GPA's Service Rules and Regulations.
 3. A system impact assessment may be required to determine the effect of this facility on GPA's existing power facilities.
 4. All costs associated with the modification of GPA facilities shall be chargeable to the customer. This includes relocation costs, new installation costs and any required system upgrades.

B. General Comments

GPA has no objection to the request subject to the conditions cited above.

6. DEPARTMENT OF PARKS AND RECREATION

Has no objection to the approval of this application for a zone change.

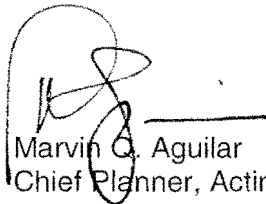
7. DEPARTMENT OF PUBLIC WORKS

No position statement has been received as of January 14, 2013.

8. BUREAU OF STATISTICS AND PLANS

- a. The Bureau finds the proposed zone change request to adequately justify public necessity, public convenience and general welfare, and therefore recommends approval. However, the Bureau offers the members of the Guam Land Use Commission the following comments and/or concerns for consideration:
 - i. The proposed activity may pose a safety hazard to patrons from across Macheche Avenue attempting to cross the street to patronize the commercial establishment. The main access road fronting the property will generate an increase in traffic in the area as a result of the proposed commercial activity. It should be noted that there are no sidewalks on either side of the road nor are there crosswalks in the area. The Bureau suggests that the applicant coordinate with the Highway Safety Division of the Department of Public Works (DPW) on the possibility of crosswalks in the area. The Bureau further suggests that the applicant coordinate with DPW to ensure that the applicant is in conformance with parking requirements and to ensure that they have adequate egress/ingress for the safety of the patrons.

- ii. We are concerned with the potential nonpoint source pollution issues as a result of the impervious surfaces in this development. The Bureau suggests the applicant design the parking lot/paved areas to incorporate bio-retention islands and to provide additional landscaping in order to filter storm water runoff and to make the area more aesthetically pleasing as well as provide buffer between the commercial establishment and the neighborhood. The landscaping could be used to provide shady areas for the patrons. The Bureau further suggests that the applicants coordinate with the Guam Environmental Protection Agency for the storm water management matters and with the Department of Agriculture for assistance on the types of plants, trees and shrubs that can tolerate the urban and northern Guam environment. The landscaping plan must be in place prior to issuance of an Occupancy Permit. All storm water runoff must be addressed on site.
- iii. Because the site is presently an agricultural designated lot, we feel that the Department of Agriculture should provide an agricultural Impact statement.
- iv. Should the Guam Land Use Commission (GLUC) act favorably on this request, we would like to suggest to the Commission that the zone change be time sensitive. Perhaps, if the development does not materialize within a reasonable amount of time, the property will revert back to the original zone of "A" Agricultural. The Bureau is concerned that developers submit applications to the GLUC, only to sell it at a higher price after it is rezoned. We are concerned that speculative buying will increase land prices of the surrounding lots.



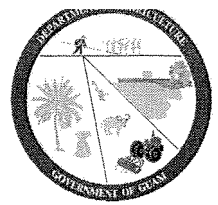
Marvin C. Aguilar
Chief Planner, Acting

CASE PLANNER: C. Cruz-Aguilar



Department of Agriculture
Dipattamenton Agrikottura

163 Dairy Road, Mangilao, Guam 96913



Edward B. Calvo
Governor

Ray S. Tenorio
Lt Governor

Director's Office	734-3942/43; Fax 734-6569
Agricultural Dev. Services	734-3946/47; Fax 734-8096
Animal Health	734-3943
Aquatic & Wildlife Resources	735-3955/56; Fax 734-6570
Forestry & Soil Resources	735-3949/50; Fax 734-0111
Plant Nursery	734-3949
Plant Protection & Quarantine	472-1651; 475-1426
	Fax 477-9487

Mariquita F. Taitague
Director

Munuel Q. Cruz
Deputy Director

November 28, 2012

RECEIVED

MA
12-19-12

Memorandum

To: Executive Secretary
Guam Land Use Commission

From: Director of Agriculture

Subject: **Agricultural Impact Statement For Lot 3 Block 3 Tract 172
Zone Change Request From "A" (Rural) To "C" Commercial
Located in the Municipality of Dededo**

The property identified in the above captioned subject matter currently does not support any habitat and has no existing concerns that may impact on agricultural resources as a result of a zone change. Any possible agricultural activity on site will only be heavily criticized by surrounding landowners and residences as well as motorists commuting through the roadway that borders the property to the east.

Any applications of pesticides, livestock noise and stench will affect human health as a result of poor air quality and pesticide residue that can be cited as an environmental hazard or concern with the Guam Department of Public Health & Social Services and the Guam Environmental Protection Agency respectively.

In light of this, Agriculture has no objections, however, encourages the planting of trees to provide shade as well as promoting the use of indigenous tree species that requires no pesticides for maintenance.

Should there be any questions in reference to this memorandum, please feel free to contact my office at 734-3942 or for information on indigenous trees the Forestry & Soil Resources Division may be contacted at 735-3951.

M. F. Taitague
MARIQUITA F. TAITAGUE



Eddie Baza Calvo
Governor

Department of Parks and Recreation
Government of Guam
490 Chalan Palasyo
Agana Heights, Guam 96910
Director's Office: (671) 475-6296/7
Facsimile: (671) 477-0997
Parks Division: (671) 475-6288/9
Guam Historic Resources Division: (671) 475-6294/5
Facsimile: (671) 477-2822



Peter S. Calvo
Acting Director

Ray Tenorio
Lt. Governor

In reply refer to:
RC2012-9658

November 28, 2011

✓ RECEIVED
NOV 28 2011
Department of Land Management
Time: 1:00 Int: [Signature]

MEMORANDUM

To: Executive Secretary, Guam Land Use Commission
From: Director, Department of Parks and Recreation
Subject: DPR Position Statement on DLM 2012-01 Zone Change Application of Chi Construction for Lot No. 3, Block 3, Track 172, Macheche Avenue, Dededo, Guam

POSTED
CA

We reviewed subject application submitted by Ignacio F. Santos, Land-Use Consultant, authorized representative of the applicant, Chi Construction and have the following comments.

We have no objection to the approval of the subject Zone Change Application. However, our department will require a site inspection of the property in coordination with Mr. Ignacio Santos during the DPW permitting process. If historic preservation concerns are found during the site inspection, further consultation with Mr. Ignacio Santos and Chi Construction will be addressed by the Department.

If you have any questions with regards to our position, please contact our office at 475-6292/6295.

[Signature]
Peter S. Calvo
Acting

Eddie Baza Calvo
Governor of Guam

Ray Tenorio
Lieutenant Governor



**BUREAU OF
STATISTICS & PLANS**
SAGAN PLANU SIHA YAN ENKOMAN
Government of Guam

P.O.Box 2950 Hagatna, Guam 96932
Tel : (671) 472-4201/3
Fax : (671) 477-1812

RECEIVED

JAN 03 2012
Department of Land Management

Thomas A. Morrison
Director



MEMORANDUM

JAN 03 2012

1-3-12
RECEIVED
POSTED

To: Chairperson, Guam Land Use Commission
Via: Executive Secretary, Department of Land Management
From: Director, Bureau of Statistics and Plans
Subject: POSITION STATEMENT ON APPLICATION NO. 2012-01; LOT NO. 3, BLK. NO. 3, TRT. NO. 172; MACHECHE, DEDEDO; CHI CONSTRUCTION, INC; ZONE CHANGE; PROPOSED USE: COMMERCIAL BUILDING.

The applicant, Chi Construction, Inc., is requesting a Zone Change of the subject lot from "A" agricultural to "C" commercial, in order to allow the construction of a commercial building. The proposed building will house a retail store, storage area, video store and a laundromat. The subject site is located along Macheche Avenue approximately 685 feet north of the intersection of Alageta Street and Macheche Avenue. The subject property has an area of 5,966 square meters or 161 acres. The existing land uses surrounding the project site consist predominantly of the single-family dwellings, some vacant lots, several retail stores due north and multi-family developments due east.

The applicant proposes to develop a one story building on the property. The on-site improvements will consist of seventy-five parking stalls, a catchment system to handle all storm water runoff within the boundaries of the project and a six feet high concrete and fencing along the rear and right side yards. Water, power and sewer service are available in the area.

To justify the zone change, the applicant stated that there is a public necessity and convenience. Because of its strategic location to large single and multi-family developments, the area will benefit from the convenience and services of a commercial establishment in an area where these services are not available. Furthermore, because the predominant land uses surrounding the area and bordering the project site are single and multi-family dwellings, the proposed zone change will create a more stable community environment by providing for an orderly development scheme. The full improvements ensure the general safety and welfare of the adjacent property owners.

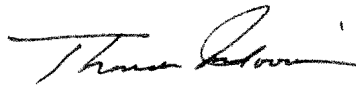
The Bureau finds the proposed zone change request to adequately justify public necessity, public convenience and general welfare, and therefore recommends approval. However, the Bureau offers the members of the Guam Land Use Commission the following comments and/or concerns for consideration:

1. The proposed activity may pose a safety hazard to patrons from across Macheche Avenue attempting to cross the street to patronize the commercial establishment. The main access road fronting the property will generate an increase in traffic in the area as a result of the proposed commercial activity. It should be noted that there are no sidewalks on either side of the road nor are there any crosswalks in

Handwritten initials/signature

the area. The Bureau suggests that the applicant coordinate with the Highway Safety Division of the Department of Public Works (DPW) on the possibility of crosswalks in the area. The Bureau further suggest that the applicant coordinate with DPW to ensure that the applicant is in conformance with parking requirements and to ensure that they have adequate egress/ingress for the safety of the patrons.

2. We are concerned with potential nonpoint source pollution issues as a result of the impervious surfaces in this development. The Bureau suggests the applicants design the parking lot/paved areas to incorporate bio-retention islands and to provide additional landscaping in order to filter storm water runoff and to make the area more aesthetically pleasing as well as provide buffer between the commercial establishment and the neighborhood. The landscaping could be used to provide shady areas for the patrons. The Bureau further suggests that the applicants coordinate with the Guam Environmental Protection Agency for the storm water management matters and with the Department of Agriculture for assistance on the types of plants, trees and shrubs that can tolerate the urban and northern Guam environment. The landscaping plan must be in place prior to issuance of an Occupancy Permit. **All storm water runoff must be addressed on site.**
3. Because the site is presently an agricultural designated lot, we feel that the Department of Agriculture should provide an Agricultural Impact Statement.
4. Should the Guam Land Use Commission (GLUC) act favorably on this request, we would like to suggest to the Commission that the zone change be time sensitive. Perhaps, if the development does not materialize within a reasonable amount of time, the property will revert back to the original zone of "A" agricultural. The Bureau is concerned that developers submit applications to the GLUC, only to sell it at a higher price after it is rezoned. We are concerned that speculative buying will increase land prices of the surrounding lots.



THOMAS A. MORRISON

cc: GEPA
DPW
GWA
DoAG
DPR



GUAM POWER AUTHORITY

ATURIDÁT ILEKTRESEDÁT GUAHAN
P.O.BOX 2977 • AGANA, GUAM U.S.A. 96932-2977

December 6, 2011

MEMORANDUM

To: Chairman, Guam Land Use Commission
Executive Secretary, Guam Land Use Commission

From: General Manager

Subject: Lot 3, Block 3, Tract 172, Municipality of Dededo, (Chi Construction Inc.); Zone Change Application from "A" (Agricultural) to "C" (Commercial) to construct a commercial building. **Application No. 2012-01**

Guam Power Authority has reviewed the application described above and submits the following position statement:

A. Comments and Recommendations Concerning GPA requirements:

1. GPA has no objection, however customer is required to comply with the following pursuant to the National Electric Code, National Electric Safety Code and GPA's Service Rules and Regulations:
 - Coordinate overhead/underground power requirements with GPA Engineering for new structures.
 - Maintain minimum clearances as defined by the current edition of the National Electrical Safety Code and National Electrical Code.
 - Maintain adequate clearance between any structures and electric utility easements in accordance with NESC and GPA requirements.
 - Developer/Owner shall provide necessary electric utility easements to GPA prior to final connection.
 - Provide scheduling and magnitude of project power demand requirements for new loads.
 - All relocation costs for GPA's facilities, if necessary, is 100% chargeable to the applicant including but not limited to labor and materials.
2. Primary distribution overhead and underground line extensions and GPA service connections must adhere to the guidelines outlined in the current issue of GPA's Service Rules and Regulations.
3. A system impact assessment may be required to determine the effect of this facility on GPA's existing power facilities.
4. All costs associated with the modification of GPA facilities shall be chargeable to the customer. This includes relocation costs, new installation costs and any required system upgrades.

B. General Comments

GPA has no objection to the request subject to the conditions cited above.


JOAQUIN C. FLORES, P.E.

INFRASTRUCTURE CERTIFICATION FORM

Agency Certifying: **Guam Power Authority**
 Applicant: Chi Construction Inc.
 Location: Lot 3, Block 3, Tract 172, Dededo
 Type of Application: Zone Change
 GLUC/GSPC Application No. 2012-01
 Brief Project Description:
 "A" to "C" to construct a commercial building.

For the purposes of this Certification, GOVERNMENT SERVICES, FACILITIES, and INFRASTRUCTURE include, but are not limited to: **power lines poles and facilities; water lines, pumps and facilities; sewer and liquid waste disposal; storm water disposal; solid waste disposal; telephone lines and facilities; schools; health facilities; police and fire fighting service and facilities; roads; traffic and street lights; parks and recreational activities.**

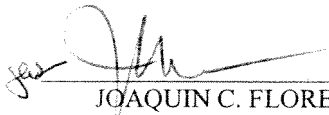
1. I hereby certify that the required GOVERNMENT SERVICES, FACILITIES and INFRASTRUCTURE are currently **AVAILABLE AND IN PLACE** to support this project:
 Yes No

2. If the answer to #1 above is YES, then:
 I hereby certify that the required GOVERNMENT SERVICES, FACILITIES and INFRASTRUCTURE are currently **ADEQUATE** to support this project:
 Yes No

3. If the required GOVERNMENT SERVICES, FACILITIES and INFRASTRUCTURE currently in place are **NOT AVAILABLE** or they are **AVAILABLE, BUT NOT ADEQUATE**, itemize the services, facilities and infrastructure that are needed, the estimated cost thereof and whether funds are currently available and identified to develop such services, facilities and infrastructure:

Services, Facilities and Infrastructure Needed	Cost of Upgrades	Funds Available	Date Available	Funds Identified
Please see comments below				

I hereby certify that the foregoing is true and correct to the best of my knowledge.


 JOAQUIN C. FLORES, P.E.
 General Manager

12/7/11
 Date

Comments:

Based on a preliminary inspection of the site, the electrical facilities may require upgrading to meet the demand of the proposed project. A system impact assessment maybe required to determine the effect of this facility on GPA's existing power distribution system. The applicant will be responsible for the cost of any required system upgrade.

SPORTS

Rugby: Notre Dame never gave up

Continued from Page 45

strong run down the right side, moving the ball deep into the Knights' side of the field.

A couple of pop passes later, the Royals grounded the ball for their second try of the game. The conversion was no good, keeping the score at 26-12.

A contested scrum deep in the Knights' territory saw the Royals' scrum half snatching the ball and punching into the try line from 5 meters out. The conversion was good, closing

the gap to 26-19. The Knights answered right back with a break-away run from 40 meters out. The conversion was good, giving the Knights a comfortable lead of 33-19.

With time running out, the Royals didn't up. They scored another try from 10-meter line. The conversion made it through the uprights, but it wasn't enough as the Knights won 33-26.

St. John's coach Sixto Quintanilla III was proud of his players.

"We have phenomenal

players with great talent. Destiny Castro deserves a lot of credit for our success," said Quintanilla. "We worked on our passing skills a lot. This allowed our players to open up the field and get good scoring opportunities"

Watson gives up one of his captain's picks

ORLANDO, Fla. (AP) — Tom Watson is giving back one of his captain's picks for the Ryder Cup.

In his first big move since he was appointed U.S. captain last year, Watson said Wednesday he would take the top nine players off the Ryder Cup standings and select three players as captain's picks. For the last three years, only eight Americans qualified for the team and the captain was given four wild-card picks.

Paul Azinger was behind the 2008 change to four picks to help give the Americans the 12 hottest players for the matches.

The next Ryder Cup is in 2014 at Gleneagles, Scotland.

PHOTOGRAPHER, ASSISTANT PHOTOGRAPHER, EDITOR, ACTIVITY PHOTOGRAPHER, ASSISTANT EDITOR, RUNNER
Please bring your police and court clearance to #319 Tumon Sands Plaza between 9am to 6pm
Satok Co., Ltd.
No Phone Calls Please.

GUAM POWER AUTHORITY
ATURIDÁT ILEKTRESEDÁT GUAHAN
P.O. BOX 2977
AGANA, GUAM U.S.A. 96932-2977
Telephone Nos. (671) 648-3054/55 or Facsimile (671) 648-3165

Simon A. Sanchez II
CCU Chairman

Joaquin C. Flores, P.E.
General Manager

INVITATION FOR BID

This notice is paid for by the GUAM POWER AUTHORITY EXTERNAL FUNDS
Public Law 26-12

BID NO.: DUE DATE: TIME: DESCRIPTION:
GPA-038-13 03/21/2013 2:00 P.M. New Transmission and Distribution Steel Pole

Bid package may be picked up at the GPA Procurement Office, 1st Floor, GPA Central Office, 1911 Route 16, Harmon, Guam 96911 or downloaded from GPA website: guampowerauthority.com. All interested firms should register with our GPA's Procurement Division to be able to participate in the bid. Please call our office at (671) 648-3054/3055 to register. Registration is required to ensure that all "Amendments and Special Reminders" are communicated to all bidders throughout the bid process.

Job Positions Available - Apply in person only
STORE & SALES CLERK ; Part-time Accountant
Warehouse & Delivery Person (must have Chauffeur's Lic.)
Experience in Hardware, Electrical, Plumbing & Building Materials Store
Southern Pacific Inc/ Guam Builders Depot Agaña 4775995

GUAM LAND USE COMMISSION
Department of Land Management
ITC Building, Third Floor, Tamuning, GU
P.O. Box 2950, Hagåtña, Guam 96932
Telephone: (671) 649-5263 • Facsimile: (671) 649-5383

AGENDA

A Regular Meeting of the Guam Land Use Commission will be held on Thursday, March 28, 2013 at 1:30 p.m. at the Department of Land Management Conference Room, 590 S. Marine Corps Drive, 3rd Floor, ITC Building, Tamuning.

I. Roll Call.

II. Approval of Minutes:

- GLUC Regular Mtg. March 14, 2013

III. Old Business

Tentative Development Plan

A. Grandview Development LLC; amendment to TDP application for Grandview Shopping Mall (formerly known as Tumon Bay Shopping Ctr) on Lots 5131NEW, 5126-3-1NEW & 5131-1, Tumon. [2008-03B] (GLUC Mtg. 12/13/2012 - Continuation)

Zone Variance

B. Cherry Ent., Inc.; zone variance for height & sign to erect a 23'0" freestanding LED billboard on a 20x20 portion of Lot 2021-1-1-2-1, "C" zone, Tamuning. [2012-30] (GLUC Mtg. 12/13/2012 - Continuation)

IV. New Business

Zone Change

C. Chi Construction; Zone Change from "A" to "C" zone on Lot 3, Block 3, Tract 172 for a proposed commercial building, Dededo [2012-01]

Zone Variance

D. Billy J. Chun; Zone Variance for Use to convert existing single family dwelling to a Mom & Pop store on Lot 4, Block 2, Tract 159, Yigo.

E. Sung T. Kim, Zone Variance for Use to convert an existing single family dwelling into a small retail Mom & Pop store on Lot 24-2, Tract 538, Dededo. [2012-27]

V. Miscellaneous Matters

VI. Adjournment.

Funding Source for this ad provided by the Applicants above. Persons requiring special accommodations please call 649-5263 Ext. 375

AK
SINCE 1914
AK Body & Paint Manager

Atkins Kroll is the leading automotive dealership distribution and retailing top selling brands Lexus, Toyota, Scion, and Chevrolet with in excess of 320 + employees on Guam and Saipan and is part of the Inshape group of companies. With consistent strong performance, Atkins Kroll is focused on continuing to strengthen and expand current operations with high performance culture of customer centricity and excellence.

To assist us in this journey, we are seeking to appoint a Body & Paint Manager who will be responsible for managing the Body Shop department's resources to achieve annual business plan objectives. He or she is expected to be an energetic, and enthusiastic team builder with combine knowledge of the collision industry with exceptional people skills to deliver an exemplary Body Shop experience to customers.

Stay abreast of potential collision issues and status of clients, customer relationships and frequently serve as a liaison between your team and customers.

Required Experience and skills

- Previous experience managing a Body Shop or Collision Center or Automotive Workshops.
- Excellent leadership, communication and team building skills
- Previous experience working with insurance companies.
- Proficient computer skills
- Outstanding ability to manage multiple priorities concurrently.
- Highly invested in principles for success

COMPETITIVE WAGES & EXCELLENT BENEFITS
Benefits: Medical and Dental Insurance Plan, 401k Plan, Long Term Disability Insurance, Life Insurance, Paid Holidays, Vacation, and Sick Leave.

If you meet these requirements apply in person at
Atkins Kroll, Inc. Human Resources Dept.
443 South Marine Corps Drive, Tamuning, Guam 96913
No phone calls please!

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Sports Notes

Sports Notes are accepted daily. Submit items in writing or email sports@guampdn.com. Sports Notes are free. Due to limited space, Sports Notes are published on a rotating basis. All Sports Notes mailed or dropped off must have a return address.

ON THE AIR

FRIDAY, MARCH 29

■ College basketball: NCAA Tournament, regional semifinal, double header, 9 a.m. on TV11.

SATURDAY, MARCH 30

■ College basketball: NCAA Tournament, regional semifinal, double header, 9 a.m. on TV11.

Information for On the Air is provided by ABC7, FOX6, KUATV, K-57, GUAM and MCV. The Pacific Daily News is not responsible for any changes in scheduling.

MEETINGS

Guam Seniors Baseball will hold a meeting for the May 16-23, 2013, tournament in Tokushima, Japan, at 7 p.m. today at Paseo Stadium. Updated information of the tournament will be distributed and also the final registration for any interested players. Info: Roka Alicantara at 777-5837 or 734-2207. The Spring League will start April 7. Info: Roka Alicantara at alcantararoka@yahoo.com or 777-5837.

Guam Seniors Softball/Baseball Association meeting 7:30 p.m. today at Paseo Stadium. Teams interested in joining the upcoming 35-and-over Senior Spring Baseball League are asked to attend. This will be the final registration of teams that want to participate. League rules, fees and season-opening date will be discussed. Info: Roka Alicantara at alcantararoka@yahoo.com or 777-5837.

The Engineers, Architects and Surveyors Golf Club monthly meeting, 7 p.m. April 1 at Guam Plaza Hotel Coral Conference Room.

Marianas Sports Officials Association basketball referee meetings and training. MSOA will be meeting 6 to 7 p.m. every Wednesday at University of Guam field house to conduct annual training for IAABD and FIBA certification test. All current members and/or anyone interested in joining MSOA should attend. Info: Frank Cruz at 687-3734 or Larry Fagan at 487-5277.

NOTICES

Badminton
Beginners badminton clinics

6:30 to 8 p.m. today and March 28 at Guam sports complex gym. New players and/or players looking to brush up on techniques are welcome. Hosted by the Guam National Badminton Federation. Free to GNBF members, \$5 for non-members. Info: Dong at 987-1058.

Boating
Guam Dragon Boat Federation official practice for the East Asian Games 5:30 p.m. today at Malapang Beach. Info: Joey Miranda III at 665-7950.

Golf
Guam Seniors Golf Association quarterly outing March 30 at Staris Guam Golf Resort. White shirts. Show time: 5:45 a.m. Info: Vic Balajadia at 687-8335.

Tafeloto Golf Club game March 30 at Windward Hills Country Club. Show time 7 a.m., tee time 7:30 a.m. Info: Frank at 758-2105.

Hui Aikane Golf Club game March 30 at Staris Guam Golf Resort. Show time 10:45 a.m., tee time 11:42 a.m.

The Engineers, Architects and Surveyors Golf Club 30th anniversary tournament March 31 at the Staris Guam Golf Resort. Show time: 6 a.m. Info: Dennis Jose, 898-0705.

Santa Rita Golf Club game March 31 at Windward Hills Golf Course. Show time 7:30 a.m., tee time 8 a.m. Info: John at 585-2650 or Fred at 865-1251.

E-Yona Golf Club game March 31 at Guam International Country Club. Show time 7:30 a.m. Tee time 8:01 a.m. Info: Jess Sudo at 989-3112 or 777-0728.

Fourth Annual St. Thomas Aquinas Scholarship Golf Tournament April 6 at Guam International Country Club. The tournament format is a two-person scramble, best ball, Callaway system with a shotgun start at 12:30 p.m. Show time 11:30 a.m. Golfer registration forms available at www.staguam.com. Info: 482-2255.

Hit Radio 100 and COOLFM 92.7 present the 13th Annual Rick and Ronnie Reunion/Vitaltonal Golf Tournament April 27 at Staris Guam Golf Resort to benefit the Make-A-Wish Foundation Guam. Teams of two, scramble format (open/women's/mixed) with course obstacles. \$100 per golfer, \$80 early bird rate until April 26. See www.hitradio100.com for entry form and details. Info: Rick Neuta at 797-0183.

St. Francis (Yona) 10th Annual Golf Tournament April 27 at LeoPalace Golf Resort. Show 7 a.m., tee 8 a.m. Two-person select shot Callaway format. \$300 per team, \$150 per player. Limited to first 144 paid entries. Deadline 5 p.m. April 24. Info: 780-1491/492 (recording) or email Ron Lujan at ronlujan@yahoo.com.

Eighth Annual Staris Charity Golf Tournament June 9 at Staris Guam Golf Resort. Individual Modified Callaway. Proceeds will go toward Shriners Hospital for Children and Make A Wish Foundation. Show time: 11:30 a.m. Tee time: 12:30 p.m. Entry Fee: \$125. Info: Ben Mayoyo at 788-0110 or 832-1111.

Guam national junior golf team open to 12- to 18-year-old juni-

or golfers and military dependents who are attending school in Guam and have GHN handicaps of 16 or less for boys and 25 or less for girls. Info: Nette Camacho a 477-6643 or guamjrgolf@gmail.com.

Guam Golf clubs interested in having the club licensed to use USGA handicap systems are encouraged to do so. It is easy to do, is free and the club will be listed as a licensed club on the USGA website. It will make club members' handicaps truly USGA handicaps. Info: George Banoit at gbanoit@mbkguam.com.

Guañan Junior Golf Association has started their membership drive. Membership is year round for all boys and girls ages 6 to 18. Info: guahanga@gmail.com.

Guam Junior Golf League has begun its 2013 session and it will continue to December. Open to juniors between the ages of 6 to 18. Practice venues include LeoPalace Resort, Staris Guam Golf Resort and Guam International Country Club. Call or email for a member registration packet. Info: guamjunior-golf671@yahoo.com or Kaoru Camacho at 688-2678 or Marty Oberaner at 687-6713.

GUAM LAND USE COMMISSION
Department of Land Management
ITC Building, Third Floor, Tamuning, GU
P.O. Box 2950, Hagåtña, Guam 96932
Telephone: (671) 649-5263 • Facsimile: (671) 649-5383

AGENDA
A Regular Meeting of the Guam Land Use Commission will be held on Thursday, March 28, 2013 at 1:30 p.m. at the Department of Land Management Conference Room, 590 S. Marine Corps Drive, 3rd Floor, ITC Building, Tamuning.

- I. Roll Call.
- II. Approval of Minutes:
 - GLUC Regular Mtg. March 14, 2013
- III. Old Business

Tentative Development Plan

- A. Grandview Development LLC; amendment to PDP application for Grandview Shopping Mall (formerly known as Tamon Bay Shopping Ctr) on Lots 5131 NEW, 5126-3-1-NEW & 5131-1, Tamon. [2008-038] (GLUC Mtg. 12/13/2012 - Continuation)

Zone Variance

- B. Cherry Ent., Inc.; zone variance for height & sign to erect a 23'0" freestanding LED billboard on a 20x20 portion of Lot 2021-1-1-2-1, "C" zone, Tamuning. [2012-30] (GLUC Mtg. 12/13/2012 - Continuation)

IV. New Business

- C. Chi Construction; Zone Change from "A" to "C" zone on Lot 3, Block 3, Tract 172 for a proposed commercial building, Dededo [2012-81]

Zone Change

- D. Billy J. Chun; Zone Variance for Use to convert existing single family dwelling to a Mom & Pop store on Lot 4, Block 2, Tract 159, Yigo.
- E. Sung T. Kim; Zone Variance for Use to convert an existing single family dwelling into a small retail Mom & Pop store on Lot 24-2, Tract 538, Dededo. [2012-27]

VI. Adjournment.

Funding Source for this ad provided by the Applicants above. Persons requiring special accommodations please call 649-5263 Ext. 373.

dck WORLDWIDE
ELECTRICAL ESTIMATOR

dck pacific guam, LLC is seeking an Electrical Estimator to provide full estimating services/support to its Estimating Department located in Harmon, Guam.

Prospective candidate must have a minimum of 5 years' experience in preparation of total construction estimates. A four (4) year electrical engineering degree or equivalent combination technical training and/or related training. Capable of computer estimating, material takeoff and quantity survey, solicit and evaluate subcontract bids, and material quotes, hard bid, and negotiated, client negotiations and ability to interface with engineer and project management team. Must have a good knowledge of computer software using Excel and Word. Knowledge of Timberline (Estimating Software) a plus.

Applicants we offer a salary commensurate with experience and a complete compensation and benefits package. Successful candidate must submit to drug & alcohol testing. Applicants must submit a resume demonstrating a successful work history to:

dck pacific guam, LLC
P.O. Box 20429
Barrigada, GU 96921
Attn: Administration Manager
or apply on-line at www.dckww.com

dck pacific guam, LLC is an EEO/AA Employer

Circulation Account Executive

Pacific Daily News is looking for a part-time Circulation Account Executive who will be responsible for targeted newspaper sales and marketing programs and the Newspaper in Education program. The ideal candidate must have at least one year work experience with results-oriented sales, marketing ideas and lead generation.

Qualified candidates are invited to apply and join our talent network by submitting their resume and application at:
<http://www.gannett.com/section/careers01>

Federal law requires that anyone who hire be legally entitled to employment in the U.S.
We comply with this law on a nondiscriminatory basis.
We are an equal opportunity employer and appreciate the value of a diverse workforce.

GUAM POWER AUTHORITY
ATURIDÁT ILEKTRESEDÁT GUAHAN
P.O. BOX 2977
AGANA, GUAM U.S.A. 96932-2977
Telephone Nos. (671) 648-3054/55
or Facsimile (671) 648-3165

Simon A. Sanchez II
CCU Chairman

Joaquín C. Flores, P.E.
General Manager

INVITATION FOR BID

This notice is paid for by the GUAM POWER AUTHORITY REVENUE, CIP, & O&M Funds
Public Law 26-12

BID NO.:	DUE DATE:	TIME:	DESCRIPTION:
GPA-034-13	04/11/2013	2:30 P.M.	Indefinite Quantity Contract for Concrete Poles, 35' and 45'
GPA-037-13	04/11/2013	2:00 P.M.	SF6 Gas Recovery Machine
GPA-041-13	04/11/2013	3:00 P.M.	Local Courier Services

Bid packages may be picked up at the GPA Procurement Office, 1st Floor, GPA Central Office, 1911 Route 16, Harmon, Guam 96911 or downloaded from GPA website: guampowerauthority.com. All interested firms should register with our GPA's Procurement Division to be able to participate in the bid. Please call our office at (671) 648-3054/3055 to register. Registration is required to ensure that all "Amendments and Special Reminders" are communicated to all bidders throughout the bid process. Procurement instructions are posted on the Authority's website at <http://www.guampowerauthority.com/procurement/index.html>.

GUAM POWER AUTHORITY
ATURIDÁT ILEKTRESEDÁT GUAHAN
P.O. BOX 2977
AGANA, GUAM U.S.A. 96932-2977
Telephone Nos. (671) 648-3054/55
or Facsimile (671) 648-3165

Simon A. Sanchez II
CCU Chairman

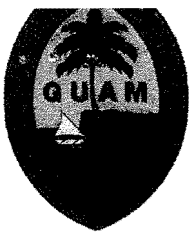
Joaquín C. Flores, P.E.
General Manager

INVITATION FOR BID

This notice is paid for by the GUAM POWER AUTHORITY EXTERNAL FUNDS
Public Law 26-12

BID NO.:	DUE DATE:	TIME:	DESCRIPTION:
GPA-038-13	04/09/2013	2:00 P.M.	New Transmission and Distribution Steel Pole

Bid package may be picked up at the GPA Procurement Office, 1st Floor, GPA Central Office, 1911 Route 16, Harmon, Guam 96911 or downloaded from GPA website: guampowerauthority.com. All interested firms should register with our GPA's Procurement Division to be able to participate in the bid. Please call our office at (671) 648-3054/3055 to register. Registration is required to ensure that all "Amendments and Special Reminders" are communicated to all bidders throughout the bid process.



Chairman, Vacant
Vice-Chairman Lawrence S. Rivera
Commissioner Conchita Bathan
Commissioner Roland Certeza

Commissioner Andrew Park
Commissioner Beatrice P. Limtiaco
Commissioner Victor F. Cruz

Monte Mafnas, Executive Secretary
Vacant, Assistant Attorney General

AGENDA – Disposition
Regular Meeting
Thursday, March 28, 2013 1:30 p.m.

Department of Land Management Conference Room
590 S. Marine Corps Dr., 3rd Floor, ITC Building, Tamuning

- I. **Notation of Attendance** Quorum 1:38 pm No Quorum
(Present: Chairman Lawrence Rivera, Commissioners Roland Certeza, Beatrice “Tricee” Limtiaco, Chit Bathan, and Victor Cruz, Acting Executive Secretary David Camacho, Acting Chief Planner Marvin Aguilar, Case Planners Frank Taitano, Celine Aguilar and Penmer Gulac, Recording Secretary Cristina Gutierrez)

- II. **Reading and Approval of Minutes**
 - GLUC Regular Meeting March 14, 2013
(Motion to approve was made by Commissioner Limtiaco, seconded by Commissioner Bathan; with all in favor. Motion passes unanimously subject to correction of minor typographical errors; 5 – ayes, 0 – nay)

- III. **Old or Unfinished Business**

Tentative Development Plan

- A. The Applicant, Grandview Development LLC, represented by FC Benavente, Planners; amendment to the tentative development plan application for the Grandview Shopping Mall (formerly Ino Corporation’s Tumon Bay Shopping Center), on Lots 5131NEW, 5126-3-1NEW and 5131-1, in “H” (Hotel/Resort) zone in the Municipality of Tumon, under Application No. 2008-03B (Continuation – GLUC meeting of 12/13/2012)
Case Planner: Frank Taitano
(Motion to approve passes unanimously subject to the following conditions: Applicant continues to adhere to the March 13, 2008 conditions listed on the original NOA, additionally that the NOA be amended to show that it was temporarily suspended from October 2011 to March 2013 with a new expiration date of April 2014; additionally that the proposed number of parking stalls to be provided on Lots 5126-2-1, 5126-2-2 and 5126-2-R2 should not be less than 174 parking stalls; and, applicant returns before the Commission with a status report [5 – ayes (Chair Rivera, Commissioners Limtiaco, Bathan, Certeza and Cruz), 0 – nay]

Zone Variance

- B. The Applicant, Cherry Enterprises, Inc. represented by FC Benavente Planners; request for zone variance for height and sign to erect a 23'0" freestanding LED billboard on a 20x20 foot portion of Lot 2021-1-1-2-1, in a "C" (Commercial) zone in the Municipality of Tamuning, Application No. 2012-30. (Tabled – GLUC Meeting of 12/13/2012)

Case Planner: Penmer Gulac

(Motion to approve was passed with 4 – ayes [Chair Rivera, Commissioners Cruz, Bathan and Certeza], 1 – abstain [Limtiaco], 0 – nay] subject to the following conditions:

1. Submit before the Commission a letter of agreement between CEI and government agencies engaged in protecting and encouraging public safety and welfare. Such agreement shall include public notifications from agencies to include but not limited to GPD, GFD, DPHSS, and Tamuning Mayor's Office. Notifications should include amber alerts, traffic conditions, public events, weather reports/warnings, etc. Such notifications should be prepared and advertised in the expense of CEI. Such notifications shall run 1/3 of every hour during peak hours (7am to 9pm). Such report shall be submitted to the Guam Chief Planner no later than 60-working days from the date of recordation of the NOA. Such report shall be considered reportable item to the GLUC;
2. CEI shall be restricted from advertising products, services and industries engaged in practices that are generally considered immoral, depraved or degrading any associated society. This should include products, services and/or industry in promoting bad or unhealthy habits or habit forming;
3. This variance shall run for a period of two (2) years to which time when expired, such timeline will have an attached opinion of the Commission to consider any additional two year extension or to remove the timeline all together;
4. Upon requesting for an extension or removal of the timeline, CEI shall submit to the Commission a report in support of the requested action. Such report shall include report of the existing or non-existence of any adverse effect caused to traffic and surrounding community to include but not limited to an increase in traffic accidents and cause of visual blight as determined by a degradation of harmonious co-existence with neighboring and/or commercial facilities. Evidence dissuading from such impacts shall be supported by appropriate agencies such as GPD on traffic DPW on matters concerning highways, as well as any other positive attributes shall be endorsed by the Municipal Planning Council of Tamuning;
5. Proof of compliance of all GLUC imposed conditions;
6. Applicant shall provide the Guam Chief Planner a copy of the building permits and occupancy permits for the construction of any structures on the site; and,
7. 6-foot perimeter fence to be erected on the leased portion of the subject lot.

IV. New Business

Zone Change

- C. The Applicant, Chi Construction, represented by Ignacio F. Santos; request for Zone Change from "A" (Rural) to "C" (Commercial) zone for a proposed commercial building on Lot 3 Block 3 Tract 172, in the Municipality of Dededo. Application No. 2012-01

Case Planner: Celine Aguilar

(Motion to approve was passed unanimously subject to ARC conditions; 5 – ayes [Chair Rivera, Commissioners Bathan, Limtiaco, Certeza and Cruz], 0 – nay]

Zone Variance

D. The Applicant, Billy J. Chun, request for zone variance for use to convert an existing single family dwelling to a Mom and Pop store on Lot 4, Block 2, Tract 159 in the Municipality of Yigo, in an "R1" (Single Family Dwelling) zone. Application No. 2012-56B.

Case Planner: Penmer Gulac

(Motion to approve was passed unanimously 5 – ayes [Chair Rivera, Commissioners Limtiaco, Bathan, Certeza, and Cruz], 0 – nay. Subject to the following conditions:

1. Applicant comply with all ARC conditions and all permitting requirements;
2. A landscaping plan must be submitted and approved by the Guam Chief Planner prior to issuance of an Occupancy Permit,
3. Applicant shall provide a copy of the Occupancy Permit to the Guam Chief Planner,
4. As a standard condition, the applicant shall restrict from posting any external advertisement for the sale of alcohol and/or tobacco products, where external coverage of such kind shall not exceed ten percent of any given wall area of the primary structure. Furthermore, free-standing signs of advertisement shall adhere to the requirement of the Guam zoning code. This condition on signage may exceed the requirements as maybe required by the Alcohol and Tobacco Board under the auspice of the Department of Revenue and Taxation;
5. A timeline of no more than five years be imposed starting from the date of issuance of an occupancy permit. No later than six months before the expiration date, the applicant must submit a status report to the GLUC relative to the status of compliance with all conditions as imposed by the Commission; positive attributes served to the surrounding community as supported by a petition from surrounding residents; and, justification to support continuance of retail activities. Such information shall be used by the Commission to determine continuance or termination of the variance; and,
6. DLM Planning Division shall exercise the opportunity to inspect the approved retail facility and associated accessories from time to time to ensure that all conditions imposed by this NOA are adhered to and any conditions imposed by any of the other approving government agencies will also be ensured.

Zone Variance

E. The Applicant, Sung T. Kim represented by Richard F. Rosario; request for a zone variance for use to convert an existing single-family dwelling unit into a small retail mom and pop store on Lot 24-2, Tract 538, in the Municipality of Dededo, in an "R1" (Single Family Dwelling) zone. Application No. 2012-27

Case Planner: Penmer Gulac

(Motion approve was passed unanimously with 5 – ayes [Chair Rivera, Commissioners Certeza, Cruz, Bathan and Limtiaco], 0 – nay; subject to the following conditions:

1. Applicant to comply with ARC conditions;
2. Landscaping plan to be submitted and approved by the Chief Planner prior to issuance of an occupancy permit;
3. Applicant to provide a copy of the occupancy permit to the Chief Planner;,
7. As a standard condition that the applicant shall restrict from posting any external advertisement for the sale of alcohol and/or tobacco products, where external coverage of such kind shall not exceed ten percent of any given wall area of the primary structure. Furthermore, free-standing signs of advertisement shall adhere to the requirement of the Guam zoning code. This condition on signage may exceed the requirements as maybe required by the Alcohol and Tobacco Board under the auspice of the Department of Revenue and Taxation;

4. Timeline of no more than five years be imposed starting from the date of issuance of an occupancy permit. No later than six months before the expiration date, the applicant shall submit a status report to the GLUC relative to status of compliance with all conditions as imposed by the Commission; positive attributes served to the surrounding community as supported by a petition from surrounding residents; and justification to support continuance of retail activities. Such information shall be used the Commission to determine continuance or termination of the variance and so shall report its determination through a finding of facts;
5. DLM Planning Division shall exercise the opportunity to inspect the approved retail facility and associated accessories from time to time to ensure that all conditions imposed by this NOA are adhered to and any conditions imposed by any of the other approving government agencies will also be ensured; and,
6. Dededo's MPC requirements for speed bump and lighting and consideration of a sign 50 yards from the bus stop and an additional speed bump in front of the bus stop.

V. Miscellaneous Matters (None)

VI. Adjournment (Adjourned at 5:10 p.m.)

Island of Guam, Government of Guam
Department of Land Management Officer of the Recorder

File for Record is Instrument No. **851359**

On the Year 13 Month 05 Day 07 Time 2:05

Recording Fee DE-OFFICIO Receipt No. _____

Deputy Recorder Sisa D. Manggar

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ORIGINAL

GUAM LAND USE COMMISSION REGULAR MEETING MINUTES



Guam Economic Development Authority Board Room
ITC Building, Tamuning



March 28, 2013
1:38 p.m. to 5:10 p.m.

**GUAM LAND USE COMMISSION
EAST COAST PROTECTION COMMISSION
Attendance Sheet**

Department of Land Management Conference Room
590 S. Marine Corps Drive, 3rd Floor, ITC Building, Tamuning

Date of Meeting: Thurs., March 28, 2013

Time of Meeting: 1:38 pm

<input checked="" type="checkbox"/>	GLUC	<input checked="" type="checkbox"/>	GSPC
<input checked="" type="checkbox"/>	Regular	<input type="checkbox"/>	Regular
<input type="checkbox"/>	Special	<input type="checkbox"/>	Special
<input checked="" type="checkbox"/>	Quorum	<input type="checkbox"/>	Quorum
<input type="checkbox"/>	No-Quorum	<input type="checkbox"/>	No-Quorum

COMMISSION MEMBERS

SIGNATURE

- Chairman
- Lawrence S. Rivera, Vice-Chairman
- Conchita Bathan, Commissioner
- Roland S. Certeza, Commissioner
- Andrew C. Park, Commissioner
- Beatrice "Tricee" P. Limtiaco, Commissioner
- Victor F. Cruz, Commissioner

_____ *Lawrence S. Rivera*

_____ *Conchita Bathan*

_____ *Roland S. Certeza*

_____ *Andrew C. Park*

_____ *Beatrice "Tricee" P. Limtiaco*

_____ *Victor F. Cruz*

David V. Camacho
Acting Executive Secretary (GLUC/GSPC)

_____ *David V. Camacho*

Vacant
Legal Counsel, Assistant Attorney General

- Marvin Q. Aguilar, Acting Chief Planner
- Frank Taitano, Case Planner
- Penmer Gulac, Case Planner
- Celine Aguilar, Case Planner
- Mario Garcia, Case Planner

_____ *Marvin Q. Aguilar*

_____ *Frank Taitano*

_____ *Penmer Gulac*

Joseph Guevara
Chief Bldg. Inspection Administrator (DPW)

_____ *Joseph Guevara*

Cristina Gutierrez, WPS II

ADJOURNMENT: 5:10 pm

GUAM SEASHORE PROTECTION COMMISSION

Speakers Sign-In Record

Location: DLM Conference Room, 3rd Floor ITC Building

590 S. Marine Corps Drive, Tamuning

<input checked="" type="checkbox"/> GLUC	<input checked="" type="checkbox"/> Regular	Date: <input type="text" value="Thurs., March 28, 2013"/>
<input type="checkbox"/> GSPC	<input type="checkbox"/> Special	Time: <input type="text" value="1:30pm"/>
<input checked="" type="checkbox"/> Quorum	<input type="checkbox"/> No Quorum	Adjournment: <input type="text" value="5:10pm"/>

(THIS RECORD WILL BE USED IN THE TRANSCRIPTION OF THE GLUC/GSPC MINUTES. PLEASE PROVIDE YOUR FULL NAME AND WHO YOU REPRESENT, I.E., ITEM ON AGENDA.)

Print Name	Applicant or Representative	Telephone No.
<i>Erix Benavente</i>	<i>F. Ch. Smedley (Chun)</i>	<i>988-7911</i>
<i>Jan Domacena</i>	<i>Grandview</i>	<i>788-5939</i>
<i>Ignacio Fr Santos</i>	<i>Ch. Const. of Billy Chun</i>	<i>777-3862</i>
<i>Richard F. Rosario</i>	<i>Rep of Item # E</i>	<i>488-2696</i>

Guam Land Use Commission Regular Hearing Minutes (CORRECTED)

Department of Land Management Conference Room

Thursday, March 28, 2013 • 1:38 p.m. to 5:10 p.m.

I. Notation of Attendance

Acting Chairman Rivera called the regular hearing of the Guam Land Use Commission for Thursday, March 28, 2013 to order at 1:38 p.m., noting a quorum.

Acting Chair Rivera before we start the roll, I would like to announce and introduce our newly appointed new Commissioner, Mr. Victor Cruz.

Present were: Acting Chairman Lawrence Rivera, Commissioner Beatrice "Tricee" Limtiaco, Commissioner Chit Bathan, Commissioner Roland Certeza and Commissioner Victor Cruz, Acting Executive Secretary David Camacho, Acting Chief Planner Marvin Aguilar, DLM Case Planners Frank Taitano, Celine Aguilar and Penmer Gulac, Recording Secretary Cristina Gutierrez.

II. Approval of Minutes

Acting Chair Rivera we have the Minutes of our regular meeting of March 14, 2013. Any motion to approve.

Commissioner Limtiaco I move to approve the Minutes of the GLUC meeting of March 14, 2013 with any corrections to be submitted to our Recording Secretary by end of day.

Acting Chair Rivera is there a second (Commissioner Bathan seconds). Motion by Commissioner Limtiaco and seconded by Commissioner Bathan; is there any discussion? (None noted)

All in favor of the motion to approve say "aye" [**Acting Chair Rivera, Commissioners Limtiaco, Bathan, Certeza, and Cruz**] and those oppose say "nay."

(Motion to approve the Minutes of March 14, 2013 was passed unanimously; 5 – ayes, 0 – nay)

Acting Chair Rivera we'll go straight into our agenda, and we have a lengthy agenda and we really want to move forward.

IV. New Business

Zone Change

- C. The Applicant, Chi Construction, represented by Ignacio F. Santos; request for zone change from "A" (Rural) to "C" (Commercial) zone for a proposed commercial building on Lot 3 Block 3 Tract 172, in the Municipality of Dededo. Application No. 2012-01.

Case Planner: Celine Aguilar

Celine Aguilar the Chief Planner provided a Commission Brief dated March 18, 2013 just reiterating that this application was actually on the January 24, 2013 agenda; but at the request of the applicant's representative, he asked that this item be tabled because he was not able to comply with the sign requirements.

I also want to note that at that meeting, submitted by the representative was the Dededo Municipal Council's Resolution 2012-07, and basically in support of the zone change from "A" to "C".

Ms. Aguilar continues to read the staff report dated January 14, 2013 to include the purpose, facts, chrono facts, public hearing results, staff analysis/discussion and recommendation.

(Attachment C-1/C-2 – Commission Brief dated March 18, 2013 and Staff Report dated January 14, 2013)

Acting Chair Rivera questions for staff? (None noted from the Commissioners) How was the public hearing, was the Mayor there?

Celine Aguilar the Mayor was there, yes. We just had four individuals in attendance. Maybe even two others before the public hearing actually started, but they just wanted to see what the plans were and after looking at it they just left and so they didn't get to sign in. Generally at the public hearing it was favorable for the applicant.

Acting Chair Rivera the Mayor indicated that the Macheche Road would be widen within a year. That was one of the concern was the road. Is that part of the plan with the highway with Parsons or is that just a projection or a is that going to happen.

Celine Aguilar I believe she said it was tied in somehow to the military buildup. But the signalization of Macheche and Alegata is already in place, and the reason why the light hasn't been turned on is because in their planning of that they left out the signalization at the top of the hill. She also said that it would be on within a year that it was going within the next funding cycle.

Commissioner Limtiaco on your vicinity map, the location map that is provided where are the other convenience markets in this area. Either convenience markets or retail establishments, video stores.

Celine Aguilar if you look to the north there is a paved road that leads to the right, that corner has a commercial establishment as is across the street. The Las Palmas area, there is a clearing just north of that will be a two-storey commercial complex and that was a Commission zone change as well.

(Lengthy discussion continues on the various stores/proposed projects located within the area of Macheche and Alageta.)

Ignacio (Ike) Santos also to congratulate Mr. Cruz for joining this. It certainly helps us consultants in chances, I guess, for moving something forward.

The applicant is asking to rezone the subject lot to commercial, and I would like to request to approach. Mr. Santos continues to summarize the site plan to include the location of Las Palmas subdivision, location of other stores)

I met with Highways to discuss about this access road and now considered Route 25 because of its use between Routes 1 and 15, so now it is a major access road. In past meetings when you have like the last store which was also on Alageta Road they came up to (undecipherable) because you have another store coming further down.

They are actually working on making this a 60-foot right-of-way which includes curbs, gutters, sidewalk, two lanes heading north, two lanes heading south and a center lane and it will be like a five-lane with a center lane and you can come in and go out without any hassle.

Acting Chair Rivera that's part of the plan on the

Ike Santos that's what they're working on right now. I can provide some kind of documentation from them to show that it is, that they are working on it. They are trying to acquire some portions of the road that may not be as wide as 60-feet although we have 70-feet planning on improving it. That will be there, five lanes. And I guess with the light itself maybe I can ask him to fund the light on top.

(Continues with the explanation of the site development plan displayed. A six-foot wall will be constructed in order to minimize impact on neighboring lots, also assists in minimizing noise level, control on dust during the construction phase, etc. The use will include a confirmed Laundromat, also listed is a retail/video store but the owner is reconsidering on this idea because there are three stores already in the area. They are also seriously looking at putting in a bakery which will be a great benefit to the area.)

Acting Chair Rivera one of the concern at the public hearing was the infrastructure.

Ike Santos oh yes. In order for this to work, we are putting in a sewer line and that would be in place for this to work. The difference between that and all these other stores that were put in and approved by Commission that usually gives them the support. The zone change what happens is the bank has leverage and gives them enough financing to put in all the improvements like we're putting in; the sewer, we're also putting in lights on the place so the parking is well lit not like you see with the other stores. And that's what makes the I guess with the zone change you see something more I guess the aesthetics is more pleasing versus the other stores where they just lay the asphalt down and no landscaping. The other thing about it is that we this 20-foot buffer between the wall itself and we put it actually around the building.

Commissioner Certeza Ike, you mentioned that we ruled in prior, did we rule as a variance change or a conditional use in other stores. As ruled on any variances, zone changes in that area.

Marvin Aguilar the TPC on the Latte Mart back in the late 70's. There is a Video Zone (conditional use) and think they are in violation of the conditional use permit.

Ike Santos with conditional use you have to finance it yourself and that's why since March of 2009, I looked up their NOA and that was the day it was approved and if you look at it now you actually just see the house itself and they still haven't opened because it comes out of their wallet versus with the zone change now the bank has leverage to finance it. The bank said that it gives them more leverage to help finance and basically going through all that helps improve the area with the sewer and all of the improvements.

Acting Chair Rivera how about the water, what size of pipe on the main road there.

Ike Santos this is the project site, this is Alageta Street and this road has been improved. If you notice they just laid the asphalt straight down with no curb or anything and just made a centerline for that. And the reason for that is they come up with this new thing about a bike law or something in order so that people with bikes can actually ride the side of it now because they only made it a two or three lane.

Commissioner Cruz my question Ike is where's you mentioned about utilities and sewers. Talk to me about the sewer.

Ike Santos one of the projects up north which is Latte Heights and Plantation they all run on a force main and they go straight down. This area here (referring to the drawing) don't have sewer. Now, there is another commercial zone lot that is back here and they have sewer. What they did in order to help I guess some of the community to tag on or you know so what we did is they put a sewer manhole right here that allows people to basically tap into. Now, we also offered any of those that were in, I guess along the area that we put one in to tap into which is a benefit too.

Commissioner Cruz there's a line coming down the road, where are you going to tap? (Mr. Santos responds that there is a line, sewer manhole at this intersection – referred to the development site drawing displayed).

Commissioner Certeza why do you want a zone variance, I'm sorry a zone change you believe it's because of the bank issue.

Ike Santos it basically makes a lot of thing happen; you get more improvements versus if it was just a conditional use. I was asked by other stores if I could help so they can make improvements also but didn't move on that yet.

Commissioner Limtiaco when Mr. Cruz asked you where the sewer was you pointed out to a lot that was diagonal, closer to Alageta. But on your map, your map shows there's an existing sewer line across from Macheche Road (on your utility plan C2).

Ike Santos those are things that are going to be built.

Commissioner Limtiaco it says existing. Existing line, existing manhole. Mr. Cruz was asking where it was and according to your utility map where you pointed to is two different locations.

Ike Santos that's across street based on this map. I think we're going through a different route from what I heard.

Commissioner Cruz how many feet is that. (Mr. Santos responds "200-feet")

(Discussion continues for a lengthy period on the sewer line connection.)

Commissioner Cruz the way the thing is designed, my question to you is is that basically designed for a proposed two-storey or one-storey (Mr. Santos responds one-storey). Looking at your plan, I've noticed you've got your parking stalls and everything. Do you have any green area other than behind the building.

Ike Santos it was set that way so we can put streetlights. Now, a project like this you need to connect to a sewer line and all the necessities that have to come with it.

Commissioner Cruz but would you be able to put some green.

Ike Santos yeah, we can have a I guess, come up with a landscaping plan and have it filed with the

Marvin Aguilar it would have be under the building permit not the zone change.

Commissioner Cruz yeah, I understand that.

Ike Santos we have this area in the front which is approximately between 20 to 10 feet that we can landscape on this side.

Commissioner Cruz how are you going to control your water, to drain, your water runoff.

Ike Santos surface runoff? There are some catchment facilities in one of the drawings and pipes that are underground which help percolate the runoffs so that it goes once you cover ... you take away all the percolation now when you cover it you have these catch basins and they have pipes. C3 shows you there they use a french drain system on the front, on the sides.

Commissioner Limtiaco Ike, you know, I really hate to be the one to bring this up. The plans that you are showing us the location is for a lot in Yigo. According to your plans, it says location is for Lot 7010-2-R4 in Yigo, Guam. I have to wonder if your calculations for Yigo or Dededo?

Ike Santos no, this is a mistake by the engineer when they drew it up. The application reads Lot 3, Block 3 that's what the application is for.

Commissioner Limtiaco Celine?

Celine Aguilar I knew that we ... I brought this up to Ike at one point, but based on the drawing on the site plan of the lot size and all of those things, I do believe it was just an error on part of the person that did the drawings.

Commissioner Limtiaco that should be in some sort of a report so we don't have to bring that up. Ike, you had mentioned that you spoke to Highway, and Highway wants to extend Macheche Avenue to 60-feet. Macheche Avenue at some areas is so tight. I look at this plan and I see that on the northern side of Macheche Avenue is very (undecipherable) on the southern side of Macheche Avenue it's not so (word undecipherable). So in looking at your plan wondering, obviously, that the government would have to if they are going to widen 60-feet, they're going have to condemn some land so that will definitely affect your project site.

Ike Santos actually we have 70-feet already in front.

Commissioner Limtiaco if you take that 70-feet will you still you know, it wouldn't matter. When you're asking for a zone change it doesn't matter what kind of building you're actually going to propose because you are asking for a zone change. It's nice that you have all these plans and this is what you intend to put on there, but once we change it to "C" it doesn't matter.

Ike Santos we are still committed to put up there. I can always come back and report to you as it progresses.

Commissioner Limtiaco I do agree though with Mr. Cruz, I think that the utilities is (word undecipherable). We know that the residents off Alageta have some issues with utilities. We know that (word undecipherable) Latte Heights has issues with utilities and then it's also very

close to Route 1 in Dededo, and so their utilities are apparently tapped out. I agree with Mr. Cruz that's important that the utilities is sufficient for any commercial dwelling. I don't have any other questions.

Acting Chair Rivera any other questions?

Commissioner Cruz you brought a very good point. You are asking for a zone change, you are telling us that the owner is totally committed.

Ike Santos yes, that's right. They even offered to come back and as this thing progresses make reports to you guys.

Commissioner Limtiaco the Dededo MPC wanted to restrict any adult entertainment operations. I hope that Ms. Aguilar had explained to the MPC that once the zone change is effectuated, this body can't restrict any lawfully, allowable uses in a "C" zone.

Ike Santos for any adult entertainment, it won't fit the area that's being proposed. The things that we're looking at is more of beauty shop plus a bakery and of course the Laundromat.

Commissioner Cruz no repair shop?

Ike Santos no, no repair shop.

Acting Chair Rivera you saw the Dededo Council's request on no adult entertainment. (Mr. Santos responds "yes.")

You know, is there any other questions for staff? In none, we'll open for public comment. Is there any public comment out there for this project?

Public Comments (seeing none, Acting Chair Rivera closed public comments)

Acting Chair Rivera any additional comments or questions?

Commissioner Certeza is there any precedence in the village of Dededo that we've done on a zone change in this type of classification rule setting outside of a conditional use.

Marvin Aguilar there have been several throughout the Dededo and Yigo areas.

Acting Chair Rivera you know one of the concerns is the infrastructure, the sewer, the main force, the water itself; what is the size of the water there, is it a 12-inch? I remember that Alageta was a two-inch and upgraded or something. I just want to make sure because that place is so old and things are popping and yet the infrastructure is still the same.

Ike Santos one of the things that's also go in here is a fire hydrant. The fire hydrant needs to feed of a six-inch water line. If you notice the density of the area has kind of increased with Las Palmas, to Latte Heights and all that and all the water lines kind of increased already. There is sufficient water lines.

Commissioner Limtiaco but for Highway plans to widen to 60-foot easement, what's troubling to me on this Commission is the lack of reporting from GWA. When you are asking about very specific questions about the infrastructure particularly sewer and water, and I see that our ... it seems, it seems like our planning for infrastructure for utilities is always after the fact. Mr. Santos is absolutely right, if this is going to be widened to 60-feet we're going to see more commercial establishments there and there's going to be a heightened need for increased utilities. Unfortunately, given our state of our economy, money is super tight for any utility improvements. I think this is probably right for a zone change, but I don't know if the utilities are ready.

Ike Santos you know what, during the ARC, because they usually have an ARC meeting and GWA is always at that hearing. And usually if we have issues regarding infrastructure for water or sewer they usually come out strong that it cannot support the facility.

Commissioner Limtiaco there is no position statement from GWA.

Commissioner Cruz the main concern that I noticed on this is the question I asked you, water runoff. That's their biggest concern. For building permit, they definitely need to through the Guam Waterworks and basically that's when Guam Waterworks will come up and say run your own six-inch line or run your own sewer line. As far as the utilities side is concerned, I believe as long they don't allow to connect to the force main because there will be other people like way up behind they've got Latte Plantation further up that was once upon time when it was first subdivided it was all subdivided into half-acre lots because there was no sewer. And then the sewer started coming and they started connecting. I guess with the Guam Waterworks their line is good. As far as the applicant is concerned, Guam Waterworks has to come up with a position; do they allow you to connect to the existing infrastructure or do they allow you to construct infrastructure. That's my point as far as Guam Waterworks. The only thing I'm concerned of is the water runoff.

Ike Santos EPA is very strict in terms of surface runoffs especially with new developments; you must control your own surface runoffs. Based on what I see in this plan it seems they are putting in a french drain system and you see it all spread out around the property from the side to the rear including the parking areas. I've seen that on some of the new projects that I've seen going up in the area where I live they put in these french drain systems.

Commissioner Bathan if you get approved, how soon is your client going to start construction?

Ike Santos it's going to start right away. We have one year to complete the plan review and trying to get all the government agency approvals because the NOA only allows you only one year to get a building permit and if we don't then we do have to come back here to request.

Commissioner Bathan the reason I'm asking, we're trying to prevent people from asking a zone change and then they sell it to other investors.

Ike Santos one thing I've been trying to work with Senator Pangelinan is actually trying to come up with something like either contractual zoning that allows you guys actually so that it eliminates somebody going in there and zoning it and turns around and sells it. It kind of hurts those that are actually serious that want to do something and ready to finance it and move forward so we get hurt by those that are just speculation and all that. So, I was trying to talk to him about doing something like contractual zone.

Acting Chair Rivera Ike, you feel that the owner is true in his heart that what he is saying is ...

Ike Santos I wouldn't be saying that he will come back here and give you an update on it. Like I said, I will come back and give you updates as we progress.

Acting Chair Rivera we just don't want to be caught in a position where we approve a commercial zone and then it sits and/or sold. I mean even the Bureau of Planning always indicates that to us. You know those are things that speculate shouldn't happen that you won't do. I hate to say that I'm not going to do this because you might sell it. Have your applicant be true of what he says the intent of the application. Especially the Mayor's Council has indicated they don't want any adult entertainment there. Something to benefit the community, surrounding neighbors, i.e., drug store, i.e. a bakery, we support those. And I think your neighbors around that area would be more than happy to welcome you if you offer those kinds of amenities in your facility. Something they look for and that way we feel comfortable also. We don't want Victor Cruz to pass by your place in two years from now and there's a strip joint in your place.

Ike Santos I can give you a six-month heads on what's going on because I know he is serious.

Acting Chair Rivera we want to make sure that we're doing things right and clear all the issues and concerns that the Commission have. Of course the infrastructure is there and we will see you when the permit process if it does go. GWA will say yes or no and EPA will say this and that.

Are we ready to move? Do I hear a motion?

Commissioner Bathan I would like to make a motion to approve Application No. 2012-01 for a zone change from "A" to "C" zone on Lot No. 3, Block 3, Tract 172 in the Municipality of Dededo subject to ARC conditions.

Commissioner Limtiaco I second.

Acting Chair Rivera motion by Commissioner Bathan, second by Commissioner Limtiaco. Discussion?

Commissioner Bathan no discussion. I think we have extensively discussed this project.

Acting Chair Rivera I think we have discussed more than enough. Let's vote. All in favor of the motion say "aye" [**Acting Chair Rivera, Commissioners Bathan, Limtiaco, Certeza and Cruz**], those oppose say "nay." Five ayes, it's approved.

(Motion to approve passes unanimously; 5 – ayes, 0 – nay)

Zone Variance

- D. The Applicant, Billy J. Chun request for a zone variance for use to convert an existing single family dwelling to a mom and pop store on Lot 4, Block 2, Tract 159 in the Municipality of Yigo, in an "R1" (Single Family Dwelling) zone. Application No. 2012-56B. Case Planner: Penmer Gulac

Penmer Gulac we accepted an application that has now been submitted as a zone variance. Continues with the summarization of the staff report to include facts, purpose, public hearing results, staff discussion/analysis, conditions and recommendation. It was also noted that this application was submitted as a zone change under Application 2012-56 in December of last year. The Commission advised the representative would not act on the application for a zone change, and recommended to withdraw and resubmit as a zone variance.

(Attachment D – Staff Report dated March 18, 2013)

Commissioner Cruz is there any other stores by there?

Penmer Gulac there's the One Store to the east approximately 200 feet away but on the other side. There's also a commercial zone property across the street.

Commissioner Cruz coming from Mangilao it's on the left side? (Mr. Gulac responds on the right side), same side as Smithbridge and there's a store right now by Smithbridge.

Penmer Gulac there's a store abutting Smithbridge called Bang Store.

Marvin Aguilar if I may add, this again was originally a zone change application which was returned to the applicant for them to request for a for the purpose of allowing the Commission and the Government of Guam to have more control over what is built on the property. To come in for a zone variance, the zone variance requirements are quite different in that there are several criteria they have to meet which the Commission is going to base their decision on and that has been provided on this application for your review.

Acting Chair Rivera is this same lot where there's proposed store, is this the property I know there's this one applicant that had a store in the corner, he wants to build another mom and pop store and there's pending applications for three others coming in for the same one. Is this the same applicant.

Marvin Aguilar we know there's a proposal on the corner of Route 15 and Gayinero (Block 1) and that is approximately about 600-feet from the proposed site and quite a ways down the road and has not been accepted for consideration.

Commissioner Cruz that road that goes to the side is that (word undecipherable).

Penmer Gulac Ana Taitano ---

Acting Chair Rivera any questions for staff? (None noted)

Ignacio "Ike" Santos Mr. Chun is now requesting for a zone variance and this request is actually to operate a mom and pop store on Lot 4, Block 2, Tract 159. You guys have received this ... this was something that was entertained by you guys under a zone change. How this all this started was there was a mistake made during the zoning of the property and so the guy and built under those basis that it was commercial and found out that it wasn't. So now, he had to stop everything and come back in and fix it. You guys didn't want to entertain the zone change, you requested that I come back now and going for a use variance. And a lot of it is based on the concerns that you have in regards to people in the area because the area is not as mature or growth is limited in this area. Based on that, our plans still remain the same.

For Mr. Cruz who wasn't here at that time; this lot is actually kind of like you've got Route 15 here and you've got this 60-foot road that covers the other side of this and it's not conducive for a single family dwelling which is what is permitted under the law. I guess when the applicant bought it he bought it on the basis that it was already actually already commercial and he started construction to improve the home that was here already. Construction portion of it is about finished which is the structure part of it and so we brought in here to correct the zoning again and make it officially a commercial zone. Although the lot across is already commercial zone, I think about six months ago I was asked to withdraw the application and come in for a variance and this where we are at today.

(The history of the application from zone change to zone variance continues for a brief moment)

Acting Chair Rivera at the public hearing, did any of the other lots close to ... surrounding neighbors with this property number four did they have any concern about a mom and pop store next to their being a neighbor. Looking at this (referring to the map) does any of these guys...

(Space above for Recordation)

IMPORTANT NOTICE - READ CAREFULLY

“Pursuant to Section 5 of Executive Order 96-26, the applicant must apply for and receive a building or grading permit for the approved GLUC/GSPC project within one (1) year of the date of Recordation of this Notice of Action, otherwise, the approval of the project as granted by the Commission shall expire. This requirement shall not apply for application for Zone Change*.”**

GUAM LAND USE COMMISSION

Department of Land Management
Government of Guam
P.O. Box 2950
Hagåtña, Guam 96932

NOTICE OF ACTION

March 29, 2013

Date

To: **Chi Construction Inc.**
Represented by Ignacio Santos
P.O. Box 9157
Tamuning, Guam 96921

Application No. 2012-01

The Guam Land Use Commission, at its meeting on **March 28, 2013,**

XX/ Approved **___/** Disapproved **___/** Approved with Conditions

___/ Tabled

Your request on **Lot 3, Block 3, Tract 172, Municipality of Dededo for a :**

ZONING

/ **Zone Change*****

/ Conditional Use

/ Zone Variance

Height

Use

Setback

/ TENTATIVE DEVELOPMENT PLAN

SUBDIVISION

/ Tentative

/ Final

/ Extension of Time

/ PL 28-126, SECTION
1(A)

NOTE ON ZONE CHANGE

***Approval by the Guam Land Use Commission of a **ZONE CHANGE DOES NOT CONSTITUTE FINAL APPROVAL** but rather a recommendation to the Governor for his approval. Applicant shall be notified upon action taken by the Governor. [Reference 21 GCA (Real Property), Chapter 61(Zoning Law), Section 61634 (Decision by the Commission).]

SEASHORE

/ Wetland Permit

/ Seashore Clearance

HORIZONTAL PROPERTY REGIME

/ Preliminary

/ Final

/ Supplementary (Specify)

MISCELLANEOUS

/ Determination of Policy and/or
Definitions

/ Other (Specify)

NOTICE OF ACTION

Application No. 2012-01

Chi Construction Inc.

Lot 3, Block 3, Tract 172, Municipality of Dededo

GLUC Hearing Date: March 28, 2013

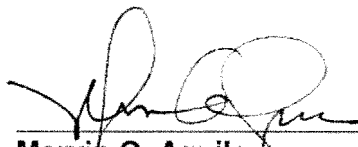
Date of Preparation of NOA: March 29, 2013

Page 3 of 4

APPLICATION DESCRIPTION: The applicant Chi Construction Inc. represented by Ignacio Santos, is requesting approval for a Zone Change of Lot 3, Block 3, Tract 172, Municipality of Dededo, from "A" (Rural) to "C" (Commercial) Zone in order to allow construct a commercial building to house a retail and video store and laundromat.

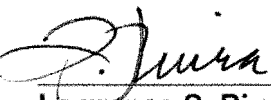
COMMISSION DECISION: The Guam Land Use Commission **APPROVED with conditions:**

That the applicant adheres to the ARC conditions as stipulated on their official Position Statements.



Marvin Q. Aguilar
Guam Chief Planner, Acting

3/29/2013
Date



Lawrence S. Rivera
Vice Chairman
Guam Land Use Commission

5-14-13
Date

Case Planner: Celine Aguilar

Cc: Building Permits Section, DPW
Real Property Tax Division, Department of Revenue and Taxation

=====

CERTIFICATION OF UNDERSTANDING

I/We _____ / Ignacio F. Santos
(Applicant [Please print name]) (Representative [Please print name])

Understand that pursuant to Section 5 of Executive Order 96-26, that a building or grading permit must be obtained for the approved GLUC/GSPC project within one (1) year of the date of recordation of this Notice of Action, otherwise, the approval of the project as granted by the Commission shall expire.

The Commission may grant two (2) one-year extensions of the above approval period at the time of initial approval.

This requirement shall not apply for application for a Zone Change***

NOTICE OF ACTION
Chi Construction Inc
Lot 3, Block 3, Tract 1/2, Municipality of Dededo
GLUC Hearing Date: March 28, 2013
Date of Preparation of NOA: March 29, 2013
Page 4 of 4

Application No. 2012-01

I/We, further **AGREE** and **ACCEPT** the conditions above as a part of the Notice of Action and further **AGREE TO ANY AND ALL CONDITIONS** made a part of and attached to this Notice of Action as mandated by the approval from the Guam Land Use Commission or from the Guam Seashore Protection Commission.

Signature of Applicant

Date



Signature of Representative

6/24/13

Date

ONE (1) COPY OF RECORDED NOTICE OF ACTION RECEIVED BY:

Applicant

Date

Representative

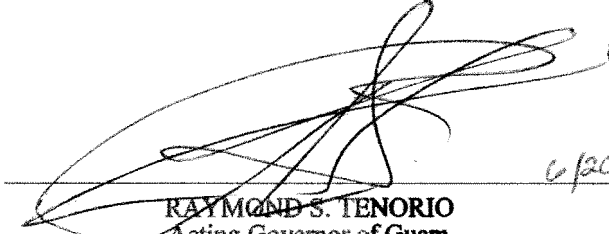
Date

To: **Director, Department of Land Management**
Director, Department of Public Works

Upon review of the decision of the GLUC to approve the zone change and in accordance with Title 21 GCA §61634, I hereby indicate my decision below on the proposed change, and any changes approved shall be endorsed and delineated upon the zoning map, and shall constitute an amendment to such map pursuant to Title 21 GCA §61630. **PERMITS SHALL NOT BE ISSUED UNTIL THE AMENDMENT TO THE MAP HAS BEEN MADE.**

APPROVED

DISAPPROVED



RAYMOND S. TENORIO
Acting Governor of Guam

6/20/13

Date

DECISION GRANTING ZONE CHANGE
(with findings)

Guam Land Use Commission

WHEREAS, the following decision of the Guam Land Use Commission is made in accordance with 21 GCA §61630, now therefore;

WHEREAS, prior to consideration of the application by the Guam Land Use Commission, a hearing on the Zone Change was held on the 26th day of June, 2012, in the Municipal District of Dededo where the property to be rezoned was located pursuant to Title 21 GCA §61633.

WHEREAS, notice of the time and place of the hearing was published in a newspaper of general circulation on the 16th day of June, 2012 as evidenced by affidavit by an affidavit of publication attached as Exhibit A.

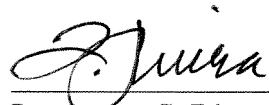
- (c) **General Welfare:** The following fact support a finding that the General Welfare of the public is best served by the granting of a zone change:

That the application as presented by the applicant, the Application Review Committee's Position Statements submitted and the results of the Community Public Hearing satisfy the above section.

The members, after due consideration voted to approve the application. The vote of the members was as follows:

4 Ayes 0 Nays 0 Abstentions

This decision was adopted this 14th day of March, 2013, and shall be submitted to the Governor for final approval pursuant to Title 21 GCA §61634.

 5-14-13
Lawrence S. Rivera Date
Acting Chairman,
Guam Land Use Commission

AFFIDAVIT OF PUBLICATION

I, the undersigned do hereby depose and state that:

- 1. I am an employee of the Department of Land Management, Government of Guam, and I am not an interested party in the above-entitled matter.
- 2. I have personal knowledge of all the facts herein.
- 3. I am competent to testify to the matters stated herein and would so testify in any hearing concerning this matter.
- 4. On **June 5th, 2012**, I submitted the Official Memorandum (attached as **Attachment A**) from the Guam Chief Planner to the Pacific Daily News, Hagåtña, Guam, a request to publish the 2x2 legal notice to appear on June 16th, 2012, for Application No. 2012-01 (Chi Construction) to be heard on June 26th, 2012, at the Dededo Senior Citizen Center. Proof of advertisement is attached as **Attachment B**)
- 5. This Affidavit is executed as proof of the compliance with 21 G.C.A §61633 (Hearing Date-Notice).


IN WITNESS WHEREOF, I hereby affix my signature this 24th day of JUNE, 2013.



PATRICIA A. MUNA
Administrative Assistant

Island of Guam)
) ss:
City of Tamuning)

Subscribed and sworn to before me this 24th day of JUNE, 2013.


Notary

TERESITA A.C. TOVES
NOTARY PUBLIC
In and for Guam, U.S.A.
My Commission Expires: **Aug. 03, 2013**
P. O. Box 2950 Hagatna, Guam 96932

Exhibit A



DEPARTAMENTO DE MANEJO DE TIERRAS
 (Department of Land Management)
GUBERNAMENTU GUAMAN
 (Government of Guam)



MONTE MAFNAS
 Director

Street Address:
 590 S. Marine Corps Drive
 ITC Building,
 Tamuning, GU 96913

EDDIE B. CALVO
 Governor of Guam

RAY TENORIO
 Lieutenant Governor of Guam

June 5, 2012

Pacific Daily News Advertising
 P. O. Box DN
 Agana, Guam 96910

Mailing Address:
 P.O. Box 2950
 Hagåtña, GU 96932

Website:
<http://dlm.guam.gov>

Dear Sir/Madame:

Please publish this legal notice on a 2 X 2 inch column, to appear on June 16th, 2012.

E-mail Address:
dlm@mail.gov.gu

Attached are check(s)/monies amounting to \$ 146.00 to cover the enclosed advertisement fee scheduled.

Thank you for your anticipated cooperation in this matter.

Telephone:
 671-649-LAND (5263)

Si Yu'os Ma'ase,

Marvin Q. Aguilar
 Guam Chief Planner, Acting

Facsimile:
 671-649-5383

Attachments:
Public Hearing Notice 2" x 2" = \$146.00
 (Government rate per inch column - \$36.50)
 Check(s)

RECEIVED
 6-7-12





Department of Land Management

P.O. Box 2950, Hagåtña, Guåhan 96932
Tel: 649-5263 Ext. 341: Fax: 649-5383



PUBLIC HEARING NOTICE

Date: June 26 2012

Time: 6:00 pm

Place: Dededo Senior Citizen Center

For: Chi Construction Inc., Zone Change from "A" to "C" zone for a proposed commercial building for retail and video store, laundromat and play room for kids, on Lot 3, Block 3, Tract 172, Dededo. [2012-01]

Funding Source provided by the Applicant.

Spending cuts: Focus on process, not people

▲ Continued from Page 1

Authority.
 "Most of the focus is on the process; not necessarily on people," Taitano said, adding later. "When you start your focus on people, you are not identifying the structural problems in a process that is keeping our employees from being capable of being efficient."

The largest GovGuam agency is the Department of Education, but the study of its redundancies and inefficiencies is being tackled by the Education Task Force, Taitano said.

Layoffs

The governor's office rolled out a layoff plan last year, and the possibility of layoffs was mentioned briefly a few times during yesterday's meeting and always discussed as a last resort.

Gov. Eddie Calvo has mandated this task force create a plan to cut \$43 million from the GovGuam budget by July 1. In April, Calvo said cutting that amount would mean layoffs were pretty much unavoidable.

"A total reduction of \$43 million from the General Fund expenditures will surely result in the layoff of gov-

ernment employees," Calvo wrote in a directive.

Of the \$43 million in cuts, about \$10 million would be reinvested into the Hay Study pay raises.

"We have a draft plan with conservative estimates in the millions," acting Gov. Ray Tenorio said in a press release. "What we're also considering is that the simultaneous implementation of the Hay may actually save these employees from feeling a cut to their income."

Governor's spokesman Troy Torres said the July 1 deadline may be bumped back to July 15 to allow for more public involvement in the planning process. The Spending Cuts Task Force will join the Education Task Force at public meetings today in Umatac and Merizo.

Obligations

The task of spending cuts extends beyond what is expected by next month.

The government can no longer borrow from the bond market to pay for tax refunds, so if Calvo wants to pay refunds on time next year, his administration will have to find the money within the GovGuam budget. The refund obligation could be as high as \$100 million — approximately one-fifth of the government's

General Fund budget.

The government also must find \$23.5 million to pay for remaining tax refund obligations from fiscal year 2011 and another \$22.8 million for the Guam Department of Education, which needs the money for textbooks, prior-year obligations and to obey a law that requires additional Chamorro classes in public middle and high schools, according to Pacific Daily News files.

Retirement plan

During yesterday's meeting, task force members also spent time discussing the possibility of a new early retirement plan, which would reduce payroll costs.

The program would target employees who are under the old retirement plan and within five years of retirement eligibility, said Shane Ngata, the acting human resources manager of the Department of Administration.

Ngata said there are an estimated 300 to 500 of these employees in the line agencies alone, and each of them probably makes about \$60,000, plus benefits.

There are laws on the books right now that allow these employees to retire early, but to do so they must pay a large sum into the Retirement

Fund and face certain financial penalties, Ngata said.

However, if the penalties are decreased or removed, more employees would be willing to embrace the early retirement plan, Ngata said. Some employees already have expressed a great deal of interest in this possibility, he said, and it has the potential to save the government a great deal of payroll money.

"However, as you know, any early retirement program or early-out program requires an immediate investment during that fiscal year to be successful," Ngata told the task force.

Benefits

Task force members also discussed the possibility of removing special benefits for some employees — such as hazardous pay for police officers and night differential for nurses — and using the savings to fund the Hay Study pay raises.

Hazardous work and late hours are inherently built into the jobs of officers and nurses, Torres said, so it made more sense for this compensation to be rolled into increased base pay for these positions.

The Hay Study also would benefit other government employees who haven't received piecemeal

raises, although not everybody would get raises, Tenorio said.

Tenorio, a former police officer, said it was difficult to discuss removing benefits like hazard pay — which compensates police, firefighters, corrections officers and others for their dangerous jobs — but that it was better than cutting entire jobs.

The task force also made a decision yesterday to create a subcommittee to study GovGuam vehicles. Torres questioned whether agencies could save money by replacing non-essential vehicles with gas vouchers, then auctioning off the vehicles.

Tenorio said he felt some agencies had more expensive vehicles than were necessary. It seems that some agencies drive four-wheel-drive vehicles or extended-bed pickups for no reason, he said.

"It's a vehicle on steroids," Tenorio said. "And one person is driving the vehicle. The bed looks like it's never been used. The backseats are pristine. These are things that show that clearly there was no justifiable reason for buying the vehicle."

Claudia Acfalle, the government's chief procurement officer, was chosen to lead the subcommittee on government vehicles.

Tumon Bay beaches reopen after jellyfish scare

By Jerick Sablan

Pacific Daily News
 jsablan@guampdn.com

The stretch of Tumon Bay that was closed due to the presence of wasp jellyfish, also known as box jellyfish or sea wasps, Thursday was reopened yesterday morning after Department of Parks and Recreation officials lifted the closure.

Lifeguards who checked Gov. Joseph Flores Beach Park saw no signs of the jellyfish, but Parks and Rec officials are still cautious. They are flying a yellow flag, which signals beachgoers to take caution in the water and are also flying a blue flag, signaling that there may be jellyfish in the water.

There were five reported cases of people stung by jellyfish on Thursday, which led to the closure. The beach is being watched for

the next two days and residents are urged to take caution in the water. Department of Agriculture biologists said the jellyfish may be mating in the waters and are clustering together, which increases the risk of people being stung.

Parks and Rec Director Peter Calvo said there hadn't been any reports of encounters as of late yesterday afternoon.

"If there is another encounter we have informed our lifeguards to go ahead and close the beach, but thankfully there hasn't been any today," Calvo said.

Calvo said the tides might have moved the jellyfish away from beachgoers and he said he hopes it will continue for next few days.

He did confirm that it is the season for the jellyfish to be in the waters and his department is on alert for

any sightings.

Brent Tibbatts, a fisheries biologist with the Department of Agriculture said the exact species is still unknown.

"We still need to collect specimens and then send it out to the mainland for testing before we find out the exact species," he said.

Tibbatts said there have been three species recorded on Guam before, but the information is outdated and needs to be updated.

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Department of Land Management
 P.O. Box 2950, Hagåtña, Guåhan 96932
 Tel: 649-5263 Ext. 341 • Fax: 649-5383

PUBLIC HEARING NOTICE

Date: **June 26, 2012**
 Time: **6:00 pm**
 Place: **Dededo Senior Citizen Center**

For: Chi Construction Inc., Zone Change from "A" to "C" zone for a proposed commercial building for retail and video store, laundromat and play room for kids, on Lot 3, Block 3, Tract 172, Dededo. [2012-01]

Funding Source provided by the Applicant.

Father's Day **LAST DAY TILL 4PM**

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(Handwritten signature)

AFFIDAVIT OF MAILING

I, the undersigned do hereby depose and state that:

1. I am an employee of the Department of Land Management, Government of Guam, and I am not an interested party in the above-entitled matter.
2. I have personal knowledge of all the facts herein.
3. I am competent to testify to the matters stated herein and would so testify in any hearing concerning this matter.
4. On **June 8, 2012**, Ms. Stephanie Duenas (Land Agent I) deposited in the United States Postal Service, in Hagatna, Guam, via certified return receipt mail (attached as **Attachment A**), hundred fourteen (114) sealed envelopes, with postage fully prepaid, each containing a true copy of the Notice of Public Hearing for **Chi Construction (2012-01)** (attached as **Attachment B**) addressed to the following property owners:

1	Arizala Alexander V.	T172 B3 L1-1	P.O. Box 1557 Hagatna, Guam 96932
2	Abesamis Leticia C.	T14114 L1(Phase I)	P.O. Box 26812 Barrigada, Guam 96921
3	Acosta Armando T.	T14114 L130 (Phase I)	PMB 371 Ste A-1 136-D Kayen Chando Dededo, Guam 96929
4	Aguon Anthony Q., Park, Caelyn	T14114 L12 Cluster 3 (Phase II)	P.O. Box 25163 GMF Barrigada, Guam 96921
5	Akigami Toshio	T14114 L82 (Phase I)	P.O. Box 7405 Tamuning, Guam 96931
6	Aldton Enterprises Inc.	T14114 L19 (Phase II)	P.O. Box 1931 Hagatna, Guam 96932
7	Alfonso Alfredo L.	T14114 L2 (Phase I)	P.O. Box 25626 Barrigada, Guam 96921
8	Andrasick Gregory O.	T14114 L20 (Phase I)	2106A Damon ST. Honolulu, HI 96822
9	Aquinde, Rufino B.	T172 B2 L4-1 & L4-R1, L4-R/W1, L4-R/W2	259 Gloria Circle Dededo, Guam 96929
10	Arakawa Hidemi	T14114 L70 (Phase I)	P.O. Box 10316 Tamuning, Guam 96931
11	Aranzamendez Jorge	T14114 L81 (Phase I)	P.O. Box 12815 Tamuning, Guam 96931
12	Arceo, Lito M. & Beverly M.	T172 B3 L2-1	P.O. Box 9258 Dededo, Guam 96929
13	Arizala Alexander V.	T172 B3 L-R1	P.O. Box 8391 Tamuning, Guam 96931

Exhibit B

AFFIDAVIT OF MAILING

Page 2 of 7

14	Ayangco Maureen L.	T14114 L144	P.O. Box 22364 Barrigada, Guam 96921
15	Bendo, Romeo A.	T172 B2 L1	P.O. Box 9542 Dededo, Guam 96929
16	Bordallo Annie U., Bez Ellen, Sanchez, Florindo, Cruz, Diron J.	T14113 L133 (Phase I)	427 Chalan San Antonio Tamuning, Guam 96913
17	Bouchard Ann-Marie	T14114 L26 (Phase II)	P.O. Box 10047 Tamuning, Guam 96931
18	Bretana Mike B.	T14114 L142 (Phase I)	Comcbpac Det Cat Guam PSC, 455 Box 181 96540-297
19	Cachero, Simeon S P C/O Fristar Home Mortgage	T172 B3 L4-1	4801 Frederica ST Fristar Home Mortgage Owensboro KY 42303-7441
20	Carbullido Eduardo M.	T14114 L30 (Phase I)	P.O. Box 12105 Tamuning, Guam 96931
21	Castro Narciso G.	T14114 L4 (Phase II)	199-C Banyan Lane Banyan Heights Subd. Mangilao, Guam 96913
22	Cha Joon Y	T14114 L23 (Phase II)	P.O. Box 11635 Tamuning, Guam 96931
23	Chang Peter H Y	T14114 L90 (Phase I)	P.O. Box 20910 GMF Barrigada, Guam 96921
24	Chang Wen-Hui	T277 L10064-S-7-7NEW- 2-1	P.O. Box 2551 Hagatna, Guam 96932
25	Cheng Benito C/O Anthony Godwin	T172 B3 L8	P.O. Box 9235 Tamuning, Guam 96931
26	Cho Jung Hoon	T14114 L21 (Phase II)	P.O. Box 12279 Tamuning, Guam 96931
27	Chua Lucky C.	T14114 L20 (Phase II)	P.O. Box 1931 Hagatna, Guam 96932
28	CLERK, DISTRICT COURT OF GUAM	T14114 L14 (Phase II)	Pacific News Building Ste 601 Hagatna, Guam 96910
29	Coffman Travis L.	T14114 L95 (Phase I)	P.O. Box 643Hagatna, Guam 96932
30	Cooper, Michael Wayne	T172 B1 L4-1	128 Loreta ST Dededo, Guam 96929
31	Cruz, Michael Jim T. C/O Lulu Johnson	T172 B3 L4-R3	P.O. Box 1610 MI, Saipan 96950
32	Dimag, Aurora U.	T172 B2 L2-3	P.O. Box 8516 Tamuning, Guam 96931
33	Damian Esther N.	T172 B2 L2-2	P.O. Box 11025 Tamuning, Guam 96931
34	Domestic & Foreign Missionary	T172 B2 2-R3	911 Marine Corp Dr. Tumon, Guam 96913
35	Dondoyano Derek B.	T14114 L8 (Phase I)	124 Est Acapulco St. Dededo, Guam 96929
36	Escalonoa Weldefonso O. & Rosa B.	T172 B1 L4-R1	P.O. Box 7937 Agat, Guam 96928
37	Esteban Pedro C.	T172 B4 L2A & L2B-R1	P.O. Box 9043 Tamuning, Guam 96931
38	Fujimoto Masumi	T14114 L22 (Phase I)	4201 Spring Street Apt. 69 La Mesa, CA 91941

AFFIDAVIT OF MAILING

Page 3 of 7

39	Furuya Glenn Haruo	T14114 L11 (Phase I)	95-1143 Ahokele St. Mililani, HI 96789
40	Gabriel Manny M. II	T14114 L139 (Phase I)	P.O. Box 4749 Hagatna, Guam 96932
41	Galendez AL J Etal	T277 L10064-S-7-7NEW-R2	P.O. Box 315466 Tamuning, Guam 96931
42	Garcia, Jojo V.	T172 B2 L1	131 Hasmin Court Liguana Terrace Dededo, Guam 96929
43	Ha Thanth Hao	T14114 L136 (Phase I)	P.O. Box 11948 Tamuning, Guam 96931
44	Harrell Alvin R.	T14114 L29 (Phase I & II)	P.O. Box 2556 Hagatna, Guam 96932
45	Hikichi Nelde Elvira E.	T14114 L141 (Phase I)	P.O. Box 11394 Tamuning, Guam 96931
46	Ilocano Association of Guam c/o James Robinson	T172 B3 L5	P.O. Box 26902 GMF Barrigada, Guam 96921
47	JCLH Guam Corp.	T14114 L17 (Phase II)	P.O. Box 1931 Hagatna, Guam 96932
48	JCLH Guam Corp.	T14114 L18 (Phase II)	P.O. Box 1931 Hagatna, Guam 96932
49	Jin James Z	T14114 L93 (Phase I)	142 Seaton BLVD Hagatna, Guam 96910
50	Jin Michael Y. & Sophia H.	T14114 L21 Cluster 6 (Phase II)	P.O. Box 218209 Barrigada, Guam 96921
51	Joanne Atsuko Matsuoka	T14114 L11 (Phase I)	99-150 AIEA Heights Drive AIEA, HI 96701
52	Joint International Dev Co C/O James K. Kawaguchi	T14114 L27 (Phase I)	P.O.Box 10597 Tamuning, Guam 96931
53	Jung Eugene E Y	T14114 L92 (Phase I)	P.O. Box 7241 Tamuning, Guam 96931
54	Kallingal Thomas K.	T14114 L84 (Phase I)	P.O. Box 9473 Dededo, Guam 96929
55	Kim Edward S.	T14114 L9 (Phase II)	P.O. Box 9345 Tamuning, Guam 96931
56	Kim Joe H.	T14114 L131 (Phase I)	P.O. Box 8614 Tamuning, Guam 96931
57	Lim Se Ryong	T14114 L23 (Phase I)	P.O. Box 12011 Tamuning, Guam 96931
58	Limtiaco, Kenneth C.	T14114 L15 (Phase II)	P.O. Box 4045 Hagatna, Guam
59	Lum-Erickson Libby DK	T14114 L14 (Phase I)	#1 Las Pamas Dededo, Guam 96929
60	Malimban, Cecilia C.	T172 B3 L6	P.O. Box 26614 GMF Barrigada, Guam 96921
61	Matsunami Garret	T14114 L16 (Phase I)	94-1110 Awalua ST. Waipahu, HI 96797
62	Melissa B. Savares	Mayor of Dededo	P.O. Box 786 Hagatna, Guam 96932

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63	Menor Maria Gracia	T14114 L31 (Phase I)	P.O. Box 26888 Barrigada, Guam 96921
64	Mercado Restituto S.	T277 L10064-S-7-5-1	P.O. Box 6454 Tamuning, Guam 96931
65	Mercado, Pete & Sixta S.	T277 L10064-S-7-4-1	P.O. Box 6454 Tamuning, Guam 96931
66	Mereb Hideo Etal	T277 L10064-S-7-7NEW-1-1 & L10064-S-7-7NEW-1-R1	P.O. Box 1773 Hagatna, Guam 96932
67	Miguel Prudencio E. JR.	T14114 L89 (Phase I)	PMB #227 1270 Marine Coprs DR. #10 Tamuning, Guam 96913
68	Miyama Kevin E.	T14114 L138 (Phase I)	95-437 Kaawela PL Mililani, HI 90789
69	Morehouse JR John J.	T14114 L24 (Phase I)	PMB 328 1270 N Marine Corps #101 Tamuning, Guam 96913
70	Nilo Nominico	T277 L10064-S-7-7NEW-2-R/W	P.O. Box 7693 Tamuning, Guam 96931
71	O & L Terra Corp.	T14114 L10 (Phase II)	125 G St STE C Tamuning, Guam 96913
72	Oberiano Ramon	T14114 L30 (Phase II)	121 Ilang-Ilang St. Barrigada Hts. Barrigada, Guam 96921
73	Ortega Bernardo T. JR.	T14114 L17 (Phase I)	P.O. Box 3218 Hagatna, Guam 96932
74	Owen Chen	T14114 L132 (Phase I)	15F #58 Sec 3 Minquan E RD Tapai, Taiwan 10477
75	Pacific Accounting Services Inc.	T277 L10064-S-7-7NEW-1-1 & L10064-S-7-7NEW-1-R1	P.O.Box 8548 Tamuning, Guam 96931
76	Partrick M. & Vivian E. Woff	T14114 L83 (Phase I)	P.O. Box CE Hagatna, Guam 96932
77	PGD VILLAGE HOMEOWNERS ASSOC.	T14114 COMMON AREA: "A" C/O: CENTURY 21 REALTY MANGEMENT	P.O. Box 7988 Tamuning, Guam 96931
78	PGD VILLAGE HOMEOWNERS ASSOC.	T14114 COMMON AREA: "B" C/O: CENTURY 21 REALTY MP.O. Box 7988	P.O. Box 7988 Tamuning, Guam 96931
79	PGD VILLAGE HOMEOWNERS ASSOC.	T14114 COMMON AREA: "E" C/O: CENTURY 21 REALTY MANAGEMENT	P.O. Box 7988 Tamuning, Guam 96931
80	PGD VILLAGE HOMEOWNERS ASSOC.	T14114 COMMON AREA: "F" C/O: CENTURY 21 REALTY MANAGEMENT	P.O. Box 7988 Tamuning, Guam 96931
81	PGD VILLAGE HOMEOWNERS ASSOC.	T14114 COMMON AREA:"G" C/O: CENTURY 21 REALTY MANAGEMENT	P.O. Box 7988 Tamuning, Guam 96931

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Page 5 of 7

82	PGD VILLAGE HOMEOWNERS ASSOC.	T14114 COMMON AREA:"H" C/O: CENTURY 21 REALTY MANAGEMENT	P.O. Box 7988 Tamuning, Guam 96931
83	Querimit Jemimah E.	T277 L10064-S-7-5-R1	P.O. Box 7283 Tamuning, Guam 96931
84	Quinitio Cesar M.	T14114 L18 (Phase I)	P.O. Box 5449 Hagatna, Guam 96932
85	Ritabelle Fernandes	T14114 L11 (Phase I)	P.O. Box 19160 Honolulu, HI 96817
86	Saisaon Noe A.	T172 B1 L8	P.O. Box 7003 Tamuning, Guam 96931
87	San Agustin John S.	T14114 L25 (Phase I)	170 Iglesia Cir Dededo, Guam 96929
88	San Luis Alberto E.	T172 B2 L3	113 West Daog Court Dededo, Guam 96929
89	Sangueza Charlyn R.	T14114 L3(Phase II)	P.O. Box 11501 Yigo, Guam 96929
90	Santos Bernadette Babasa & Luis Dizon Santos JR.	T14114 L140 (Phase I)	P.O. Box 10208 Tamuning, Guam 96931
91	Santos, David A.	T172 B1 L6-2	P.O. Box 9356 Dededo, Guam 96912
92	Santos, Jose M.	T172 B2 L3	P.O. Box 3015 Hagatna, Guam 96932
93	Silva III David E.	T14114 L16 (Phase II)	P.O. Box 8733 Tamuning, Guam 96931
94	Smith Charles B.	T14114 L19 (Phase I)	303 Lada Avenue Dededo, Guam 96912
95	Smithbridge Guam Inc	T14114 L32 (Phase I)	P.O. Box 11700 Yigo, Guam 96929
96	Song Ho Jin	T14114 L135 (Phase I)	1088 W Marine Corps Dr. Ste 251 Dededo, Guam 96929
97	Sotto Paterno T.	T14114 L21 (Phase I)	P.O. Box 7837 Tamuning, Guam 96931
98	Taimanglo Peter Q.	T172 B1 L5-R2	P.O. Box 4566 Hagatna, Guam 96932
99	Tan David Kok-Heng	T14114 L7 (Phase II)	P.O. Box 6463 Tamuning, Guam 96931
100	Tan David Kok-Heng	T14114 L134 (Phase I)	P.O. Box 6463 Tamuning, Guam 96931
101	Tongson, Raymond V. Etal	T277 L10064-S-7-4-R1 & L10064-S-7-4-R/W	P.O. Box 2436 Hagatna, Guam 96932
102	Tridon Corporation	T172 B3 L7-1, 7-R1 & 7-R/W	P.O. Box 21836 GMF Barrigada, Guam 96921
103	United Investment Corp	T14114 L5 & 6 (Phase II)	P.O. Box 8246 Tamuning, Guam 96931
104	Uy Ramon Y.	T14114 L94 (Phase I)	P.O. Box 3767 Hagatna, Guam 96932


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105	Velasquez Hernie T. & Carmelette M.	T14114 L13 (Phase I)	P.O. Box 27153 GMF Barrigada, Guam 96921
106	Verango Celson N.	T172 B1 L8	P.O. Box 21856 GMF Barrigada, Guam 96921
107	Villarmia Josephine L.	T14114 L26 (Phase I)	98-775 LEALII ST Aiea HI 96701
108	Webb Demetrice D.	T14114 LI143	PSC 251 Box 572 APO AP 96542
109	Wolcott Charles	T14114 L137 (Phase I)	4491 N Keldon Ave Boise, Idaho 83702-184
110	Wu Cong Lin	T14114 L24 (Phase II)	P.O. Box 3567 Hagatna, Guam 96932
111	Yi, Annie K. O'Connor	T172 B3 L2-2	P.O. Box 24573 GMF Barrigada, Guam 96921
112	Yi, Annie K. O'Connor	T172 B3 L2-R2	P.O. Box 24573 GMF Barrigada, Guam 96921
113	Yolangco, Rosenilda V.	T172 B3 L4-3	P.O. Box 21283 GMF Barrigada, Guam 96921
114	Zialcita Victoria K.	T14114 L91 (Phase I); T172 B1 L6-R2; T277 L10064-S-7-7NEW-R2- R/W; T277 L10064-S-7- 7NEW-1-2R/W	P.O. Box 12671 Tamuning, Guam 96931

5. The above referenced names and addresses are those of the landowners owning land within five hundred (500) feet of the property for which rezoning is requested, including notice to the Commissioner of the Municipal District concerned.

6. This Affidavit is executed as proof of the compliance with 21 G.C.A §61633.

IN WITNESS WHEREOF, I hereby affix my signature this 4th day of June, 2013.



 MATTHEW LEON GUERRERO
 Land Agent Supervisor

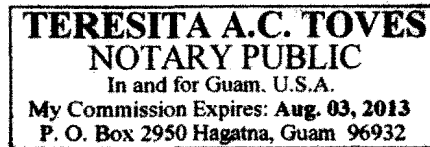
Island of Guam)
) ss:
City of Tamuning)

Subscribed and sworn to before me this 24th day of JUNE,
2013.



Notary

) SEAL (





DEPARTMENT OF LAND MANAGEMENT
(Department of Land Management)
GUBETNAMENTON ˆAHAN
(Government of Guam)



EDDIE B. CALVO
Governor of Guam

MONTEL MAFNAS
Director

RAY TENORIO
Lieutenant Governor of Guam

Street Address:
590 S. Marine Corps Drive
ITC Building,
Tamuning, GU 96913

Mailing Address:
P.O. Box 2950
Hagåtña, GU 96932

[2012-01]

Website:
<http://dlm.guam.gov>

E-mail Address:
dlm@mail.gov.gu

Telephone:
671-649-LAND (5263)

Facsimile:
671-649-5383

June 5, 2012

Dear Sir/Madam:

An application has been filed with the Guam Land Use Commission (GLUC) by:

The Applicant, Chi Construction Inc., represented by Ignacio F. Santos, request for a Zone Change from "A" (Rural) to "C" (Commercial) zone for a proposed commercial building for retail and video store, laundromat and play room for kids, on Lot 3, Block 3, Tract 172, in the Municipality of Dededo, under Application No. 2012-01.

For any **Zone Change**, the Guam Land Use Commission is mandated by law to conduct a Public Hearing in the Municipal District where the property is located. Accordingly, a Public Hearing on this application is scheduled to be held:

PLACE: Dededo Senior Citizen Center
DATE: June 26, 2012, Tuesday
TIME: 6:00 p.m.

As a property owner identified within 500 feet of this proposed development, we invite you to attend this Public Hearing and participate in the review process and to express your opinion on this application. If you are unable to attend the Public Hearing, please submit written comments to our office on or before, **June 25, 2012, Monday**. Written comments should be addressed to:

Chairman, GLUC or Executive Secretary, GLUC
c/o Department of Land Management
Land Planning Division
P.O. Box 2950, Hagatna, Guam 96932

Accordingly, a GLUC Hearing for this application will be advertised in the Pacific Daily News open ad, Government meeting, and the website.

Attachment B - Exhibit B

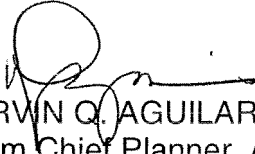
June 6, 2012
Public Hearing Notice for Residents
Chi Construction Inc. - Application No. 2012-01
Page 2 of 2

Should the public hearing be canceled due to unforeseen circumstances beyond our control, please consult with the village mayor's office.

You may review the development application at our office or your Mayor's Office.

Thank you for your interest.

Si Yu'os Ma'ase,


MARWIN Q. AGUILAR
Guam Chief Planner, Acting

DLM Case No.	2012-01
Chi Construction	
Accepted	October 17, 2011
Case Planner	Celine Aguilar

Zone Change
Lot No. 3, Block 3, Tract 172
Dededo, Guam

Chi Construction

IGNACIO F. SANTOS

Land-Use Consultant

P.O. Box 651

Hagåtña, Guam 96932

Suite 201, Guam United Plaza, Hagåtña, Tel: (671) 646-0629 Cell: (671) 777-3862 email: ifszoneland@yahoo.com

July 08, 2011

Mr. Monte Mafnas

Acting, Executive Secretary

Guam Land Use Commission

c/o Planning Division

Department of Land Management

Government of Guam

P.O. Box 2950

Hagatna, Guam 96932

Dear Mr. Untalan,

On behalf of Chi Construction, enclosed is an application for a Zone Change request to rezone Lot 3, Block 3, Tract 172 from an "A" (Rural) zone to a "C" (Commercial) zone. The subject lot is located within the Municipal District of Dededo and contains a land area of 5,966 square meters or 64,222 square feet.

The applicant's petition for a Zone Change request through the Guam Land Use Commission will be to construct a commercial building to house a Retail and Video Store and a Laundromat.

The proposed request will be in compliance with the provisions outlined in sections 61630 through 61637 et seq., Part 3-Changes of Zones, Article 6-Administration and Enforcement, Chapter 61-Zoning Law, Title 21, Guam Code Annotated.

The lot is in close proximity to other existing retail stores in the area. A typical land-use that is consistent with the proposed development of the property.

I request your attention on the enclosures and look forward on presenting this application before the commissioners of the Guam Land Use Commission.

Si Yuus Maase,


IGNACIO F. SANTOS
Principal in Charge

Affidavit of Authorization

THAT, Chi Construction, owner/or duly authorized representative of **Lot 3, Block 3, Tract 172** located within the Municipal District of Dededo.

THAT, Ignacio F. Santos is the duly authorized representative to act on our behalf to file for consideration an application for:

a. Zone Change

THAT, the extent of my authorization to Ignacio F. Santos is that he may conduct himself accordingly to arbitrate, negotiate, commit, revoke, represent, mitigate and abate the proposed request for a Zone Change approval through all the reviewing instrumentalities involved along the process.

THAT, the extent of this authorization continues until we hereby revoke it in writing.

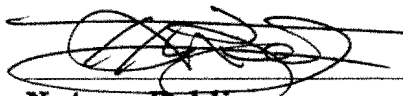
Further, the affiant sayeth naught.

**Authorized Representative of
Lot 3, Block 3, Tract 172, Dededo**



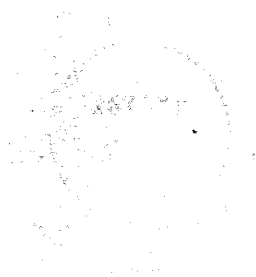
**EUN HA CHI, President
Chi Construction**

SUBSCRIBED and SWORN to before me this 30th day of March 2011.



Notary Public

JEFFREY Y.C. ZEE
NOTARY PUBLIC
In and for Guam, U.S.A.
My Commission Expires: April 11, 2013
142 Seaton Blvd. Hagatna, Guam 96910



ZONE CHANGE

TO: Executive Secretary, Guam Land Use Commission
c/o Land Planning Division, Department of Land Management
Government of Guåhan, P.O. Box 2950, Hagatna, Guåhan 96932

The Undersigned owner(s)/lessee(s) of the following described property hereby request consideration for a *Zone Change*.

1. Information on Applicant:

Name of Applicant: Chi Construction Inc. U.S. Citizen: Yes No

Mailing Address: P.O. Box 9157 Tamuning, Guam 96921

Telephone No.: Business 637-0701 Home: 727-0172

2. Location, Description and Ownership:

Subdivision Name: N/A

Lot(s): 3 Block: 3 Tract: 172

Lot Area: Acres 1.61 Square Meters 5,966 Square Feet 64,217

Village: Macheche Municipality: Dededo

Registered Owner: Chi Construction Inc.

Certificate of Title No.: 819470 Recorded Document No.: 78560

3. Current and Proposed Land Use:

Current Use: Vacant Zoned: "A"

Proposed Use: Commercial Building Proposed Zone: "C"

Master Plan Designation: Rural

4. **Attached a one page** typed, brief and concise justification (letter format explaining the compatibility of the proposed project with adjacent and neighborhood developments as they exist; your intentions and purpose of the Zone Change request justifying public necessity, public convenience and general welfare in accordance with ***Guåhan Code Annotated 21 GCA, Chapter 61, Section 61630.***

5. **Support Information.** The following supporting information shall be attached to this application:

- a. 8 1/2" X 14" map, drawn to scale, showing existing zoning within 1000 feet radius from the subject lot's boundaries.

ATTACHMENT: Section 61630 (Requirements For Changes) and Section 61638 (Review by Municipal Planning Council is attached for your information and guidance in preparation of your Zone Change Application. For additional requirements, visit the Zoning Section, Land Planning Division.

ZONE CHANGE

5. Supporting Information (Continuation):

- b. All parcels and their uses within 750 feet radius from the subject lot's boundaries. The map shall also contain:
- (1) Lot number for every parcel(s);
 - (2) Identify by name and use all existing activities on all parcel(s) through a legend/code reference;
 - (3) All adjacent inclusive and exclusive easements and roads to the property, their widths, and condition of surfaces;
 - (4) The nearest location of all public utilities to the subject lot;
 - (5) All natural or topographic peculiarities.
- c. 8 1/2" X 14" map, drawn to scale, showing all parcels within 500 feet radius of the subject lot's boundaries. Each parcel shall be identified with property lot number.
- d. The most recent survey map, certified and recorded at the Department of Land Management, showing the subject property.
- e. A detailed As-Built Plan of the lot shall include the following:
- (1) Total number and types of building;
 - (2) Parcel size in square meters/feet;
 - (3) Layouts of utilities and drainage;
 - (4) Proposed lot coverage of building(s) and accessories in square meters/feet;
 - (5) Approximate gross and net densities allowed on parcel;
 - (6) Feasibility study;
 - (7) Topography;
 - (8) Existing earth faults and sinkholes;
 - (9) Water courses and lens;
 - (10) Reservation, conservation and historic places;
 - (11) Total percentage of open spaces exclusive of parking stalls and other man-man features;
 - (12) Percentage of building footprint (PD only); and
 - (13) Compatibility to surrounding uses (PD only).
- f. If leased, lease agreement (the assignment of lease and the covenant).
- g. An initial comprehensive **Environmental Impact Assessment (EIA)** in accordance with Executive Order 90-10.
- h. Additional information as required by the Guáhan Chief Planner

Submit one set of the Application with all the supporting information listed above. Once the Application is reviewed and accepted, applicant must submit the required number of hard copies (32 sets) of the Application and nine (9) copies of the Application in electronic format (example: in CD format, etc.)

6. **Filing Fee: Fifty Dollars (\$50.00)** filing fee for the first five pages, and \$.25 for any additional page, under Public Law 29-02, Chapter V, Part III (*Fees and Charges Assessed by the Department of Land Management*).

ZONE CHANGE

7. **Required Signatures:** All legal owners/lessees of designated parcel shall sign form with name(s) typed or handwritten, signed and dated:

"I hereby certify that all information contained in this application and its supplements is true and correct. I also understand that any misrepresentation in this application shall void the entire submission. Further, that thirty-two (32) sets of the above listed required information is provided."

Eun Ha Chi

Eun Ha Chi, President

Chi Construction Inc. March 30, 2011

(Owner(s) or Lessee(s) and Date)

Ignacio F. Santos

March 30, 2011

(Representative, if any, and Date)

THIS FORM SHALL NOT BE MAILED. APPLICANT OR REPRESENTATIVE SHALL SUBMIT IN PERSON, BY APPOINTMENT ONLY, TO THE LAND PLANNING DIVISION, DEPARTMENT OF LAND MANAGEMENT.

FOR OFFICIAL USE ONLY

Date Filed: _____ Accepted By: _____

Date of Notice in Newspaper(s): _____ Date of Notice to Adjacent Property Owners: _____

Date of Public Hearing: _____

Filing Fee(s) Paid (\$) : Yes [] No [] Check [] Cash [] Other [] _____

Receipt No.: _____ Application Number: _____

Date of GLUC Action: _____ Conditions: Yes [] (See Below) No []

Conditions of Approval: _____

GLUC Resolution No.: _____ Date of Notice of Action: _____

I. Intent and Purpose

Chi Construction proposes to construct a commercial building consisting of 19,250 square feet. The proposed commercial building will be used to house retail & storage area, video store, and a Laundromat. The proposed project will be located on Lot No. 3, Block 3, Tract 172, located within the Municipal District of Dededo. The property is currently zoned "A" (Rural) and contains a cumulative land area of 5,966 square meters or 64,217 square feet.

II. Authority

A zone change request through the Guam Land Use Commission is petition to approve the proposed development. The request is in compliance to the provisions as outlined in Sections 61630 through 61637et seq., Part 3 Changes of Zones of Article 6, Chapter 61 - Zoning Law, Title 21, Guam Code Annotated.

III. Location

Lot No. 3, Block 3, Tract 172 is located within the Municipal District of Dededo. It is specifically located along Macheche Avenue or approximately 685 feet north from the intersection of Alageta Street and Macheche Avenue. Located across the project site is the northern entrance of Las Palmas, a multi-family development. The ingress and egress to the project site (Macheche Avenue) is a 70 feet wide public access and utility easement which connects Route 1 to Route 15. (See Vicinity Map)

IV. Site Description

Lot No. 3, Block 3, Tract 172 is currently vacant with no permanent or temporary structures within its boundaries. The site contains a land area of 5,966 square meters or approximately 64,217 square feet and is currently zoned "A" (Agricultural). The property has been previously cleared however; due to a lack of maintenance the property is currently occupied by overgrown vegetation. The property is accessible via a 70-foot wide Public Access and Utility Easements (see property map).

Topographically, the property exhibits a relatively flat area. There are currently no ponds or streams occurring within the boundaries of the property. The underlying soils of the property consists primarily of Guam cobbly clay loam, 3 to 7 percent slopes, a very shallow, well drained soil on limestone plateaus. A class of soil that is poorly suited to subsistence farming, being the main limitations is the very shallow soil depths and droughtiness. Runoff is slow and the hazard of water erosion is slight. The need for a community sewage system would be required to prevent contamination of ground water, being the site is located within ground water protection zone. No known archeological or historical resources were located within the project boundaries however; the project site is located within the Air Installation Compatible Use Zones, Accident Potential Zone II, with a noise exposure level of 70 -75.

V. Project Description

The proposed project entails the construction of a one story building to house a retail store with storage facility, video store, and a Laundromat. The proposed retail store will consists of 5,087.50 square feet and the storage facility will have an area of 5,568.75 square feet. The

proposed video store will consist of 2543.75 of storage area and the Laundromat will have an area of 6,050 square feet. The on-site improvements will consist of seventy-five parking stalls including four accessible parking stalls, a catchment system to handle all surface runoffs within the project boundaries and a six foot high concrete and fencing along the rear and right side yards of the property. All utility infrastructures such as power, water, and sewer to service the project will be located underground and within the property boundaries.

VI. Project Analysis

i. Density

Zoning, land-use, land area, and the availability of a sewer system were the basis for determining the density of a lot. The project site is presently zoned "A" (Rural) and is accessible to a public sewer system. The density of the project site under its current zoning designation equates to 6 single-family dwelling units with sewer. The proposed project plans does not include the construction for any dwelling units on site.

ii. Height

The height limitation for the proposed project site is determined, based on its zoning and uses within the zone. The project proposes for the construction of one story commercial building with a maximum building height of fourteen feet eight-inches from ground level to the fascia of the building.

The zoning code of Guam promulgates a height limitation of three stories not to exceed a height limit of thirty feet. The proposed project is within this criterion under its requested zone.

iii. Setbacks

The criterion for yard depths and widths within the project is base upon the approval of the zone change request. The setback criterions for a commercial zone versus the proposed setbacks are as follows.

Yards	Minimum	Proposed
Front	0' - 0"	13' - 0"
Side - L	0' - 0"	20' - 0"
Side - R	0' - 0"	20' - 6"
Rear	20' - 0"	20' - 0"

iv. Parking

Parking requirements of the project will be in conformance to Part 4 of Article 5, Zoning Law. The criterion for parking under the proposed project was based on its proposed use as a retail store with storage areas, a video store and laundromat facility. A total of seventy-five parking spaces including four accessible parking stalls are being proposed versus the required sixty-six stalls.

VII. Infrastructure

Impact to the existing utilities will be nominal and will not require the construction of new facilities. General utility services for power, water, sewer, and telephone are available along the access road fronting the property and will be located underground within the project boundaries. A potable water line located along the access road consists of six-inch line. An eight-inch gravity lateral sewer line is also located within this easement with sufficient capacity to handle the proposed development.

Water

An eight-inch main waterline currently runs along the front boundary of the property. The proposed project will be servicing of this line. A two-inch waterline will be used to service the demand of the proposed development. This line will then be tied into a backflow preventer to the meter which will then be connected to the existing waterline. A fire hydrant will be installed in the parking area fronting the building. A six-inch diameter waterline will be used to service this facility. The proposed project does not anticipate on having an adverse impact to the existing waterline as the demand is nominal. The proposed project does not require anyone living on site. See attached engineering calculations. (Attached Water Analysis)

Sewer

A four-inch diameter force main waste water line will be used to discharge the wastewater from the proposed development onto an existing eight-inch sewer line located along the access road fronting the project site. See attached calculations.

Power

The estimated electrical load calculations for the proposed development were based on preliminary load assumptions and conventional utilization equipment commonly used for this type of development and occupancies. The projected electrical load for the proposed development is estimated at 409.6 KVA.

Drainage

All storm water generated within the project boundaries will be collected on site via catchments facilities or French Drain. These catchments facilities will then discharge the storm water run-offs into underground pipes.

Solid Waste

Urban pollution is a concern due to the increase of solid waste. All solid waste generated by the proposed project will be handled by a commercial sanitation system.

VIII. Land Use

The subject lot is presently zoned "A" (Rural). The land-use of the property under its present zone is restricted to one-family dwellings, duplexes, farming fisheries, cockpits and uses customarily accessory to any of these listed. These types of permitted land uses may not be the best desired setting to the health, safety and general welfare in the development of the property and its surrounding areas under its present zone. Existing land-uses surrounding the project site within the periphery of 750-feet consists primarily of retail stores, church, single and multi-family dwellings. The proposed land-use change will provide an improvement to the lot. Impacts associated with the proposed development will exhibit an orderly form of development. The proposed land-use of the property will be in association to the neighboring land-uses in the area.

IX. Compatibility of Project

Land uses within the periphery of 750 feet consist primarily of retail store, scattered single-family dwellings, multi-family dwellings, duplexes and churches. The subject lot is presently zoned "A" (Agricultural) Zone. The land-use of the property under its present zone is restricted to single family and duplex dwellings, farming and cockpits. Impacts associated with the proposed development will be kept to a minimum with the placement of perimeter concrete walls along the rear and side-yards of the property, which will exhibit an orderly form of development.

The impact on the environment of the area by the proposed project greatly enhances its aesthetic value versus that of a cockpit. Noises associated by the traffic along Macheche Avenue make the proposed project a desirable use. The site does not contain any known historical or archaeological resources, and it is not within any wetlands or flood hazards areas. It is not anticipated that the proposed project will have an adverse impact to the government's ability to maintain the existing infrastructure of the area as the demand is very nominal. Traffic impacts attributable to the proposed development would be that of the existing traffic flow in the area. Density, height, setbacks, and parking will be in compliance with the Zoning law. The public's welfare is protected, as the activity does not anticipate imposing excruciating restrictions or hardships to the area. The developmental trends on Guam have received numerous requirements by Government Agencies within the Application Review Committee. Requirements on parking facilities storm drainage and sewer hook-ups were not previously enforced as it is now for new development projects. These components are essential to ensure an orderly development of a project and the general protection of adjacent

landowners. The proposed project has integrated these concerns in its development plans. This zone change request will serve the public necessity, public convenience, and general welfare in the following manner.

i. Public Necessity

The rezoning of Lot No. 3, Block 3, Tract 172 from "A" (Agricultural) to "C" (Commercial) will enable the proposed development. The need for a commercialize facility is non-existence in the area. The rezoning of the subject lot to construct this facility serves as an integral aspect of Guam's expanding economic base. The proposed land use of the property serves as an optimum land use for its strategic location and proximity to large single and multi family developments that will benefit from it.

ii. Public Convenience

The proposed zone change affords public convenience through the availability of this facility within the area. The location of the property for its proposed land use will serve as a convenience to its surrounding neighbors. Located within the area and close proximity to the property are major residential establishments. The existing community should be able to expect that any changes they would experience as a result of the zone change and subsequent development would at best be positive and at the least neutral. The improvements by the proposed project will greatly help revitalize the appearance of the area.

iii. General Welfare

The general welfare of the public is protected by the requested zone change. The requested zone change will not reduce any zoning standards in the immediate vicinity. The predominant land uses surrounding and boarding the project site are single and multi-family dwellings. With this in mind, the proposed zone change will create a more stable community environment providing for an orderly developmental scheme. The emplacement of full improvements ensures the general safety and welfare of adjacent property owners.

The proposed development will not be unreasonably detrimental, as the zone change is not anticipated to adversely alter the surrounding area drastically, artificially increase property values or decrease the government's ability to construct service or maintain the infrastructures in the area. The proposed development will provide for a well-planned and integrated development and not de-characterize the surrounding area. The development will not detract from the usual land uses of the adjacent lots.

The developmental trends on Guam have received numerous requirements by the Government Agencies. Requirements on parking facilities, storm drainage and sewer hook-ups are now being enforce for new development projects. These components are essential to ensure an orderly development of a project and the general protection of adjacent landowners. The proposed project has and will integrate these concerns in its development plans.

Zoning within a 1,000-foot radius of the subject lot boundaries.

Legend

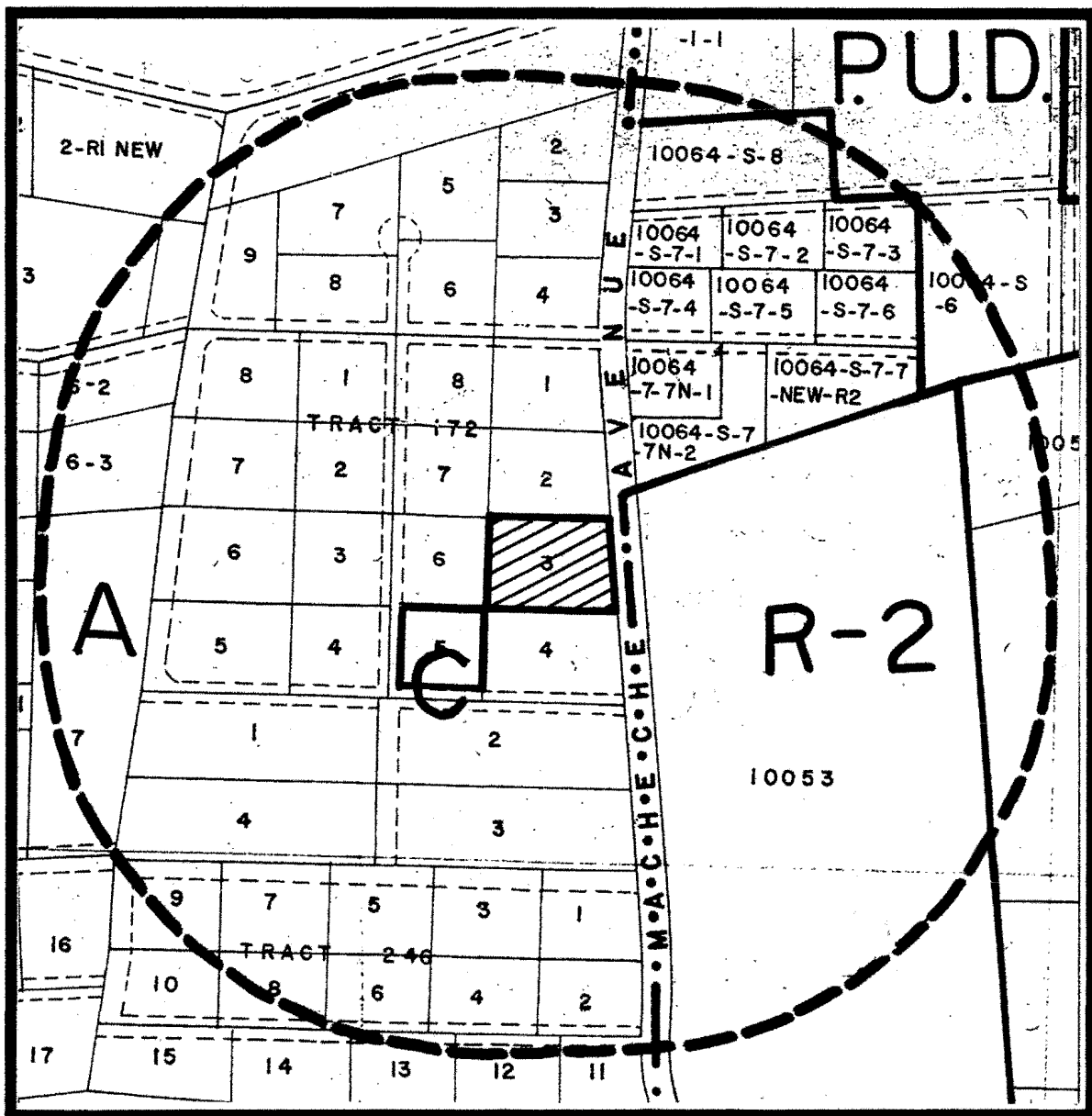
● Project Site

C (Commercial)

PUD (Planned Unit Development)










A (Agriculture)

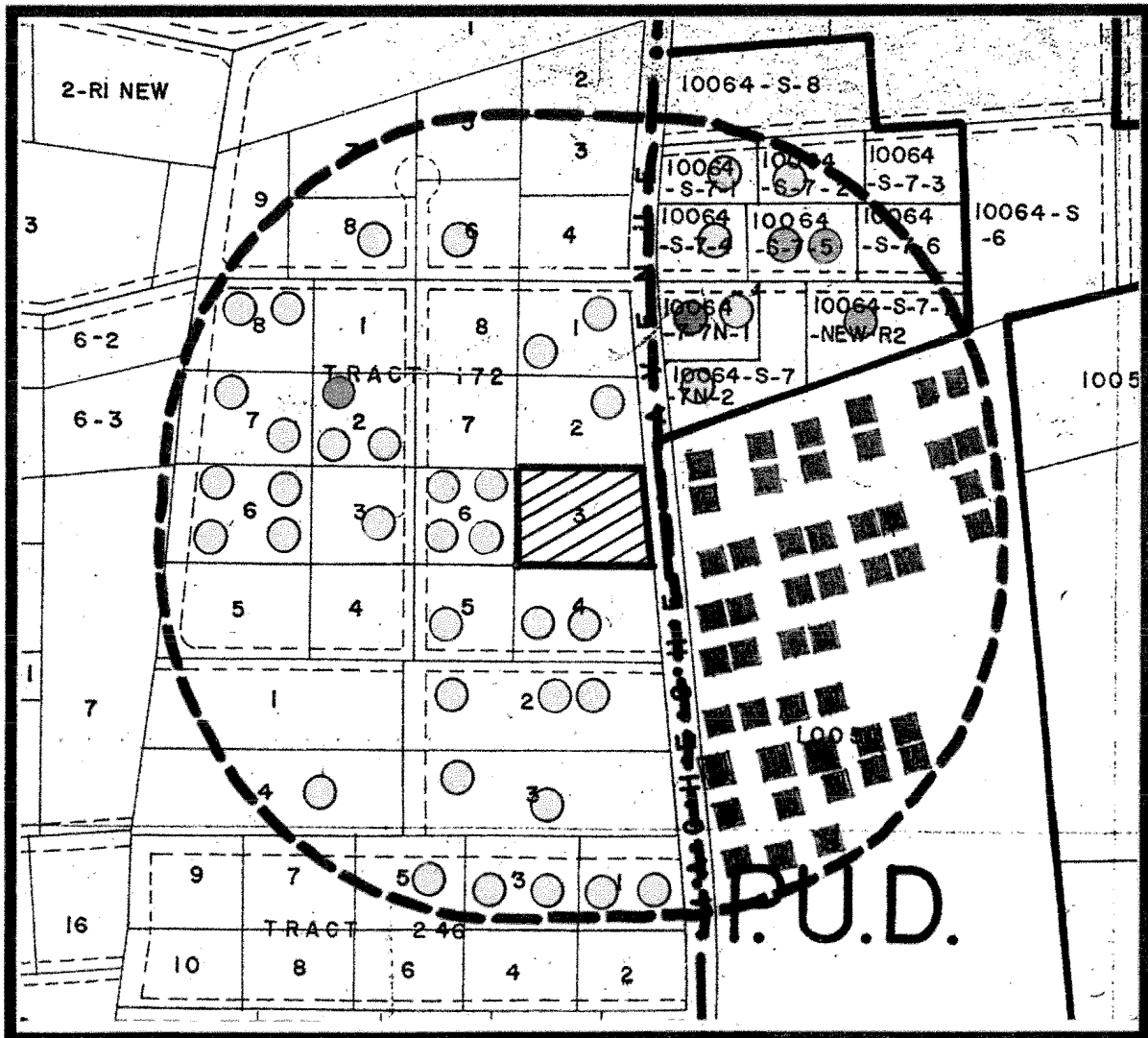
R-2 (Multiple Dwelling)



Land-Uses within a 750-foot radius of the subject lot boundaries.

Legend

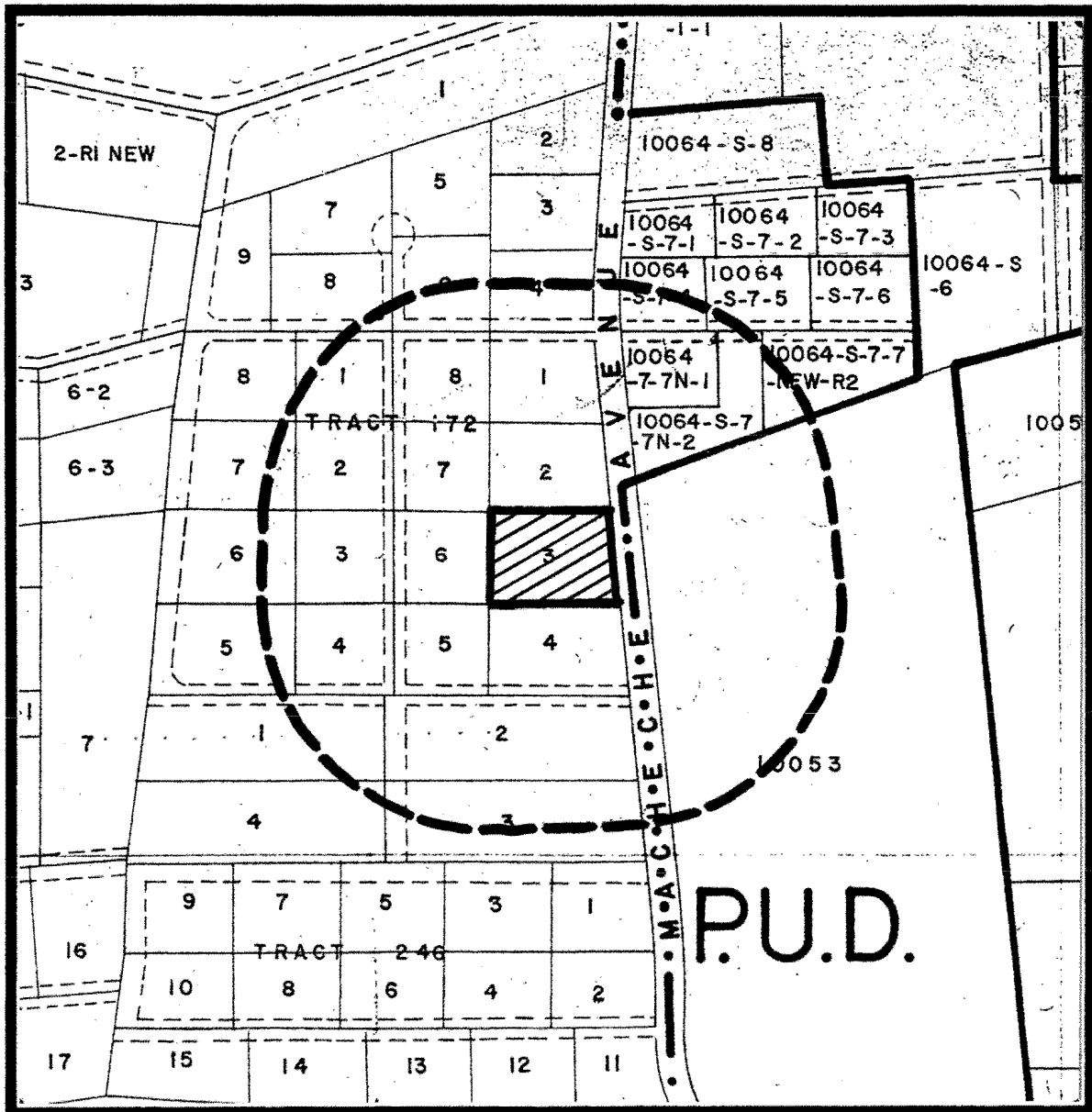
-  Project Site
 -  Church
 -  Retail Store
 -  Duplex
 -  Multiple Dwelling
 -  Single Family Dwelling
 -  Four-Plex
-  70' Wide Public Access & Utility Easement
 Macheche Avenue



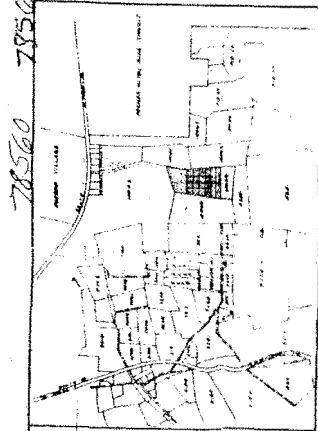
Lot numbers within a 500-foot radius of the subject lot boundaries.

Legend

● Project Site



78560 78560

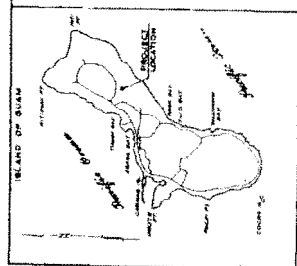


KEY MAP

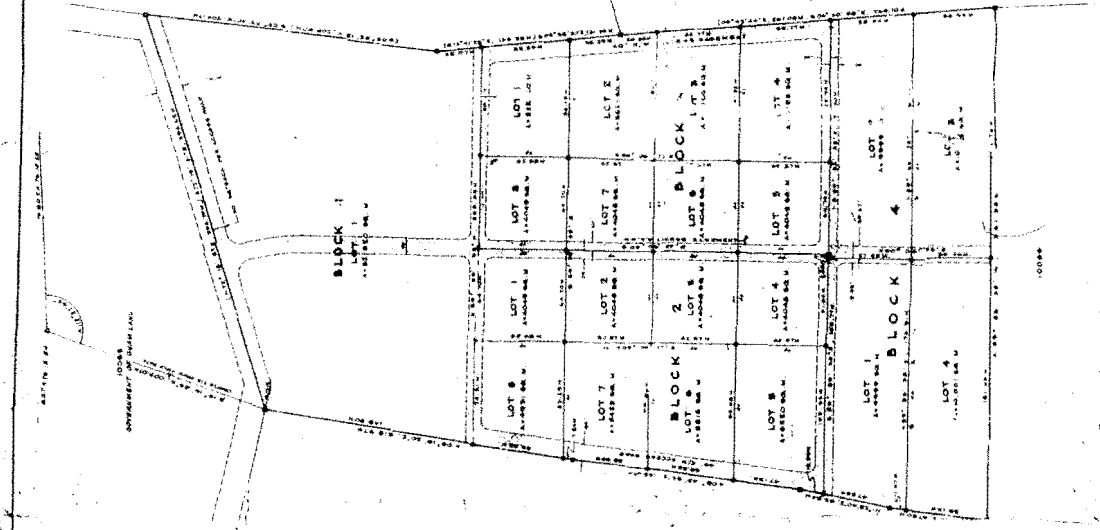
SYMBOL:
 1. LOT AREA
 2. LOT AREA
 3. LOT AREA
 4. LOT AREA

NOTE:
 1. THIS PLAN IS SUBJECT TO THE ACT OF 1907, CHAPTER 100, AS AMENDED.
 2. THE SURVEYOR'S OFFICE IS AT 1000 BROADWAY, NEW YORK, N. Y.
 3. THE SURVEYOR'S FEE IS \$100.00 PER LOT.

DEPARTMENT OF LAND MANAGEMENT
 AGRICULTURAL SUBDIVISION
 1000 BROADWAY, NEW YORK, N. Y.
 RECEIVED
 1932



LOCATION MAP



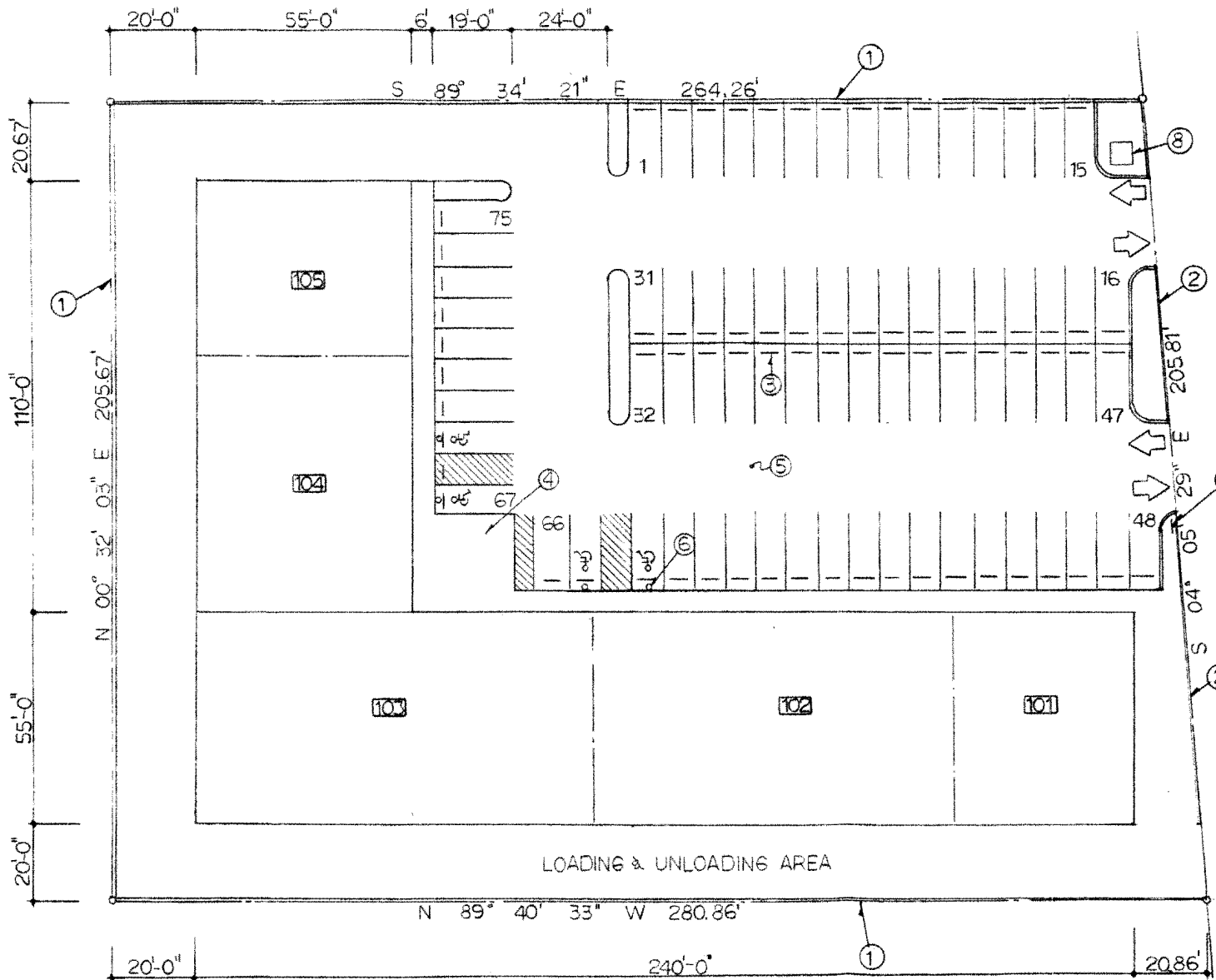
REVISION	DATE	DESCRIPTION	BY	APPROVED
1				
ISLAND SURVEYORS LTD. AGRICULTURAL SUBDIVISION OF TRACT 172 LOT 10065 MORE OR LESS, MUNICIPAL JURISDICTION OF OREGON LAND SEC. 4, SECTION 1				
SURVEYOR'S NAME: <i>Island Surveyors Ltd.</i> ADDRESS: <i>1000 Broadway, New York, N.Y.</i> DATE OF SURVEY: <i>1932</i> SCALE: <i>1" = 100'</i> CERTIFICATE NO.: <i>1032</i> SURVEYOR'S SIGNATURE: <i>Edith M. ...</i> SURVEYOR'S TITLE: <i>Surveyor</i> SURVEYOR'S REG. NO.: <i>...</i> COUNTY: <i>...</i> STATE: <i>...</i>				

DRAWING NUMBER 1032

DRAWING NUMBER 1032

DRAWING NUMBER 1032

DRAWING NUMBER 1032



■ LEGEND/SYMBOLS/ABBREVIATIONS

EXISTING	NEW	DESCRIPTION
.....	PROPERTY

■ NOTES

- CONTRACTOR SHALL CLEAR AND GRUB ALL SURFACE VEGETATION, TREES SURFACE DEBRIS AND BOULDERS. STRIPPING WILL BE 12" MINIMUM. FILL MATERIAL SHALL BE LIMESTONE SAND GRAVEL SOIL FREE OF ROCK FRAGMENTS NOT BIGGER THAN 6". DEBRIS AND PERISHABLE MATTER AND SHALL BE REASONABLY GRADED FROM COARSE TO FINE NOT MORE THAN 25% PASSING NO. 200 MESH SIEVE. PLACE MATERIALS IN 10' LOOSE LAYERS AND COMPACT TO 95% RELATIVE DENSITY.
- HIGHWAY ENCROACHMENT PERMIT REQUIRED PRIOR TO THE EXECUTION OF WORK WITH IN THE RIGHT OF WAY LIMITS.
- COMPLY WITH DPW-HIGHWAY STANDARD FOR RESTORATION OF PANEMENT DAMAGED BY CONTRUCTION WORK.

■ SCOPE OF WORK

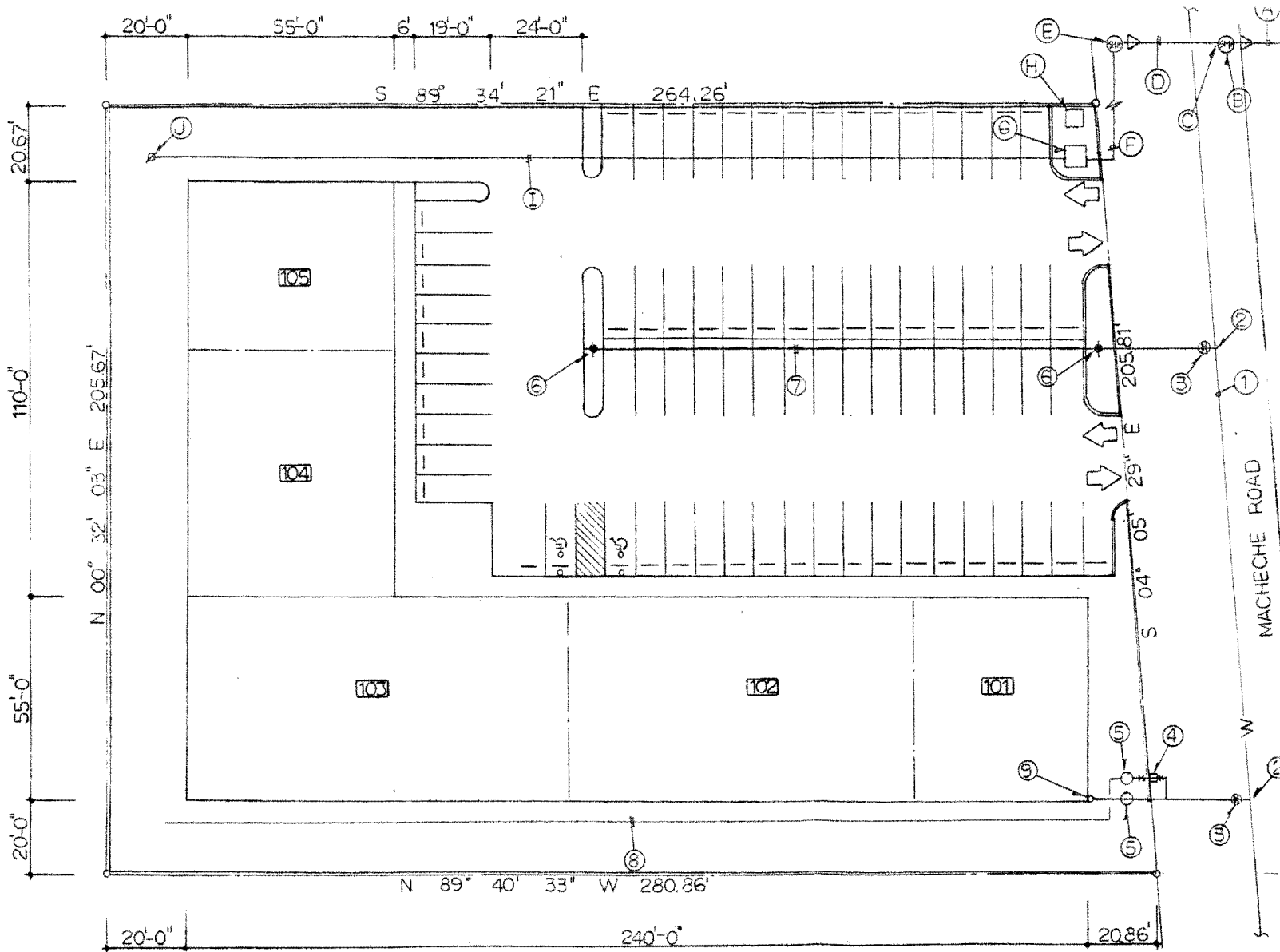
MARK	DESCRIPTION
①	8" THK. CMU FENCE - 6'-0" HIGH
②	CONCRETE CURB
③	CONCRETE WHIRL STOP
④	CONCRETE WALKWAY
⑤	2" THK. ALPHALI PAVING
⑥	HANDICAP SIGN BOARD
⑦	STOP SIGN BOARD
⑧	PUMP STATION

■ PARKING CALCULATION

ROOM	USE	PARKING STALLS
101	VIDEO SHOP 45.25'x55' = 2,543.75 SF ● 60% = 1,526.25 SF / 800 SF = 2 PARKING	
102	RETAIL STORE 92.5'x55' = 5,087.50 SF ● 60% = 3,052.5 SF / 100 SF = 37 PARKING	
103	STORAGE 101.25'x55' = 5,568.75 SF ● 100% = 5,568.75 SF / 800 SF = 7 PARKING	
104	LAUNDRY 110'x55' = 6,050 SF 32 WASHERS / 4 WASHERS = 8 PARKING	
EMPLOYEE		12 PARKING
TOTALS		66 PARKING
TOTAL PARKING REQ.		= 66 PARKING STALLS
TOTAL PARKING SPACE		= 75 PARKING STALLS

OWNER	: EUN HA CHI
PROJECT	: PROPOSED COMMERCIAL BLDG.
LOCATION	: 7010-2-R4, YIGO, GUAM
SHEET CONTENTS	: SITE PLAN
DRAWING NO.	: C - 1

① SITE PLAN
C-1 SCALE 3/8" = 10'-0"



LEGEND/SYMBOLS/ABBREVIATIONS

EXISTING	NEW	NEW	DESCRIPTION
---	---	---	PROPERTY
---	---	---	2" WATER LINE
---	---	---	6" SEWER LINE
---	---	---	FIRE HYDRANT

NOTES

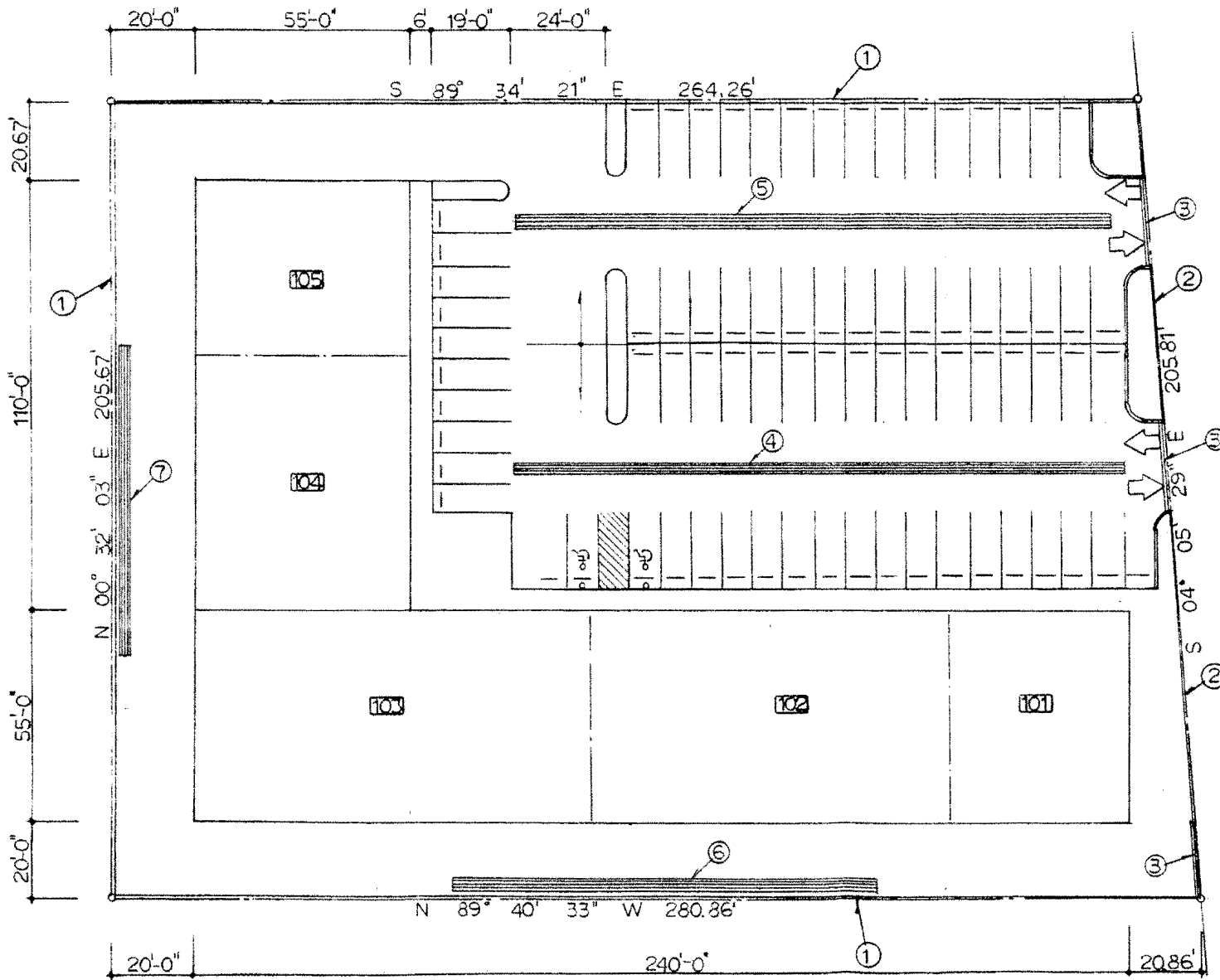
1. LOCATION OF EXISTING UTILITIES ARE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY LOCATIONS AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO THE START OF WORK AND CARE TO PROTECT EXISTING UTILITY LINES AND OTHER STRUCTURES FROM DAMAGE.
2. TAPPING CONNECTION TO EXISTING WATER LINE SHALL BE COORDINATED AND APPROVED BY GWA PERMIT DIVISION.
3. MATERIALS, EQUIPMENT AND SCHEDULE OF TAPPING TO EXISTING WATER LINE SHALL BE APPROVED BY GWA ENGINEERING DIVISION.

SCOPE OF WORK

MARK	DESCRIPTION
①	EXISTING 12" DIA. WATER LINE
②	CONN. TO EXISTING WATER LINE
③	GATE VALVE
④	2" DIA. WATER METER
⑤	BACKFLOW PREVENTER
⑥	FIRE HYDRANT
⑦	6" DIA. WATER LINE
⑧	2" DIA. WATER LINE
⑨	4" DIA. SPRINKLER PIPE RISER
A	EXIST. SEWER LINE
B	EXISTING SEWER MANHOLE
C	CONN. TO EXISTING SEWERLINE
D	NEW 8" DIA. SEWER PIPE
E	FORCE MAIN EXIT SEWER MANHOLE
F	4" DIA. FORCE MAIN
G	SUMP PIT
H	GENERATOR - USE PUMP
I	8" DIA. SEWER PIPE
J	4" DIA. GROUND CLEAN-OUT

OWNER	: EUN HA CHI
PROJECT	: PROPOSED COMMERCIAL BLDG.
LOCATION	: 7010-2-R4, YIGO, GUAM
SHEET CONTENTS	: UTILITY PLAN
DRAWING NO.	: C - 2

1 UTILITY PLAN
 C-2 SCALE 3/8" = 10'-0"



■ LEGEND/SYMBOLS/ABBREVIATIONS

EXISTING	NEW	DESCRIPTION
-----	-----	PROPERTY
00-----	---00---	CONTOURS
	-- 0.00	SPOT ELEVATIONS
	<-----w	RUN OFF FLOW

■ NOTES

- CONTRACTOR SHALL CLEAR AND GRUB ALL SURFACE VEGETATION, TREES SURFACE DEBRIS AND BOULDERS. STRIPPING WILL BE 12" MINIMUM. FILL MATERIAL SHALL BE LIMESTONE SAND GRAVEL SOIL FREE OF ROCK FRAGMENTS NOT BIGGER THAN 6". DEBRIS AND PERISHABLE MATTER AND SHALL BE REASONABLY GRADED FROM COARSE TO FINE NOT MORE THAN 25% PASSING NO. 200 MESH SIEVE. PLACE MATERIALS IN 10" LOOSE LAYERS AND COMPACT TO 95% RELATIVE DENSITY.

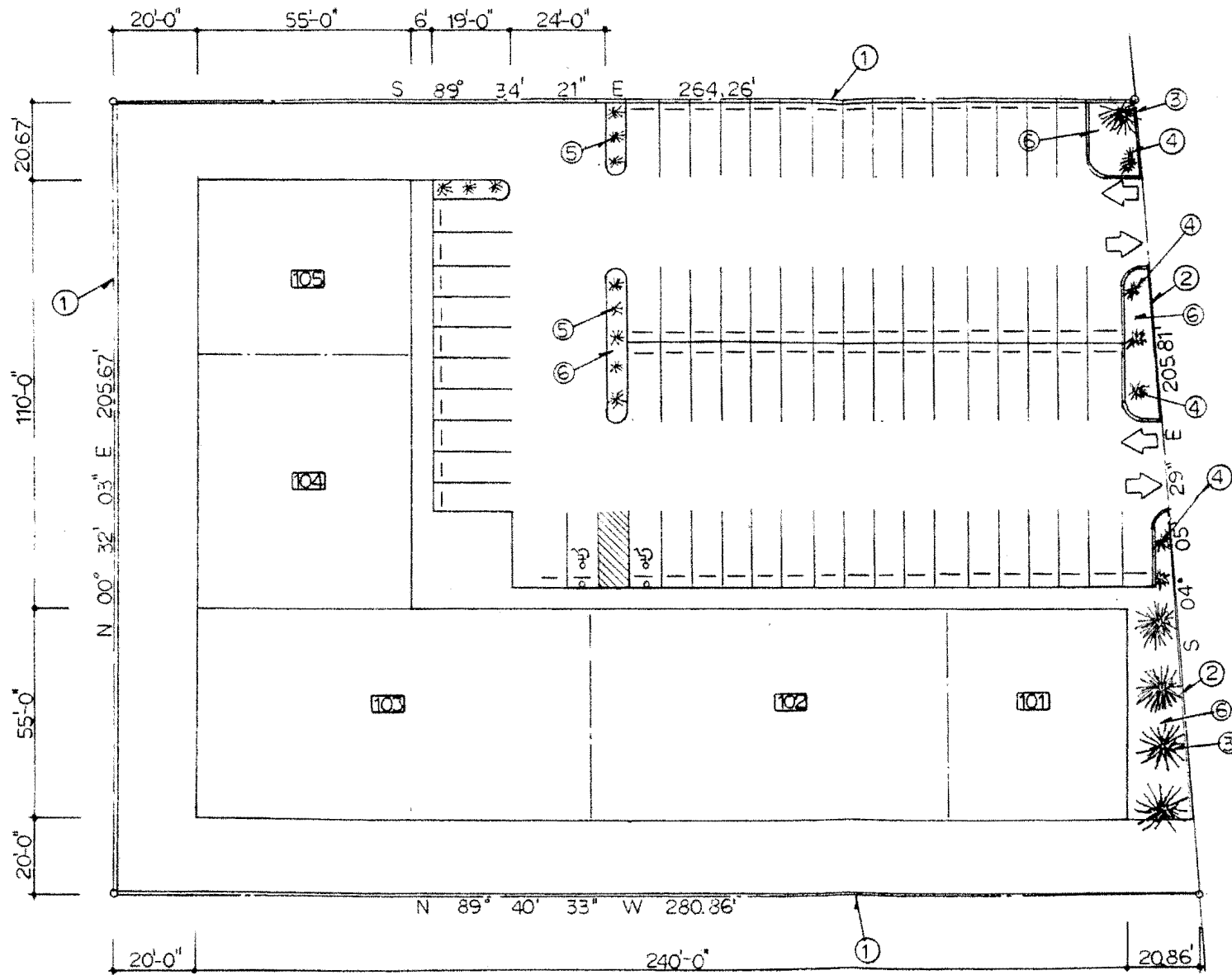
■ SCOPE OF WORK

MARK	DESCRIPTION
①	8" THK. CMU FENCE - 6'-0" HIGH
②	CONCRETE CURB
③	ASPHALT BUMPER
④	FRENCH DRAIN - 4"W. x 160' L. x 4.1' D.
⑤	FRENCH DRAIN - 4"W. x 150' L. x 4.1' D.
⑥	FRENCH DRAIN - 4"W. x 110' L. x 4.1' D.
⑦	FRENCH DRAIN - 4"W. x 80' L. x 4.1' D.

MACHECHE ROAD

① DRAINAGE PLAN
 C-3 SCALE 3/8" = 10'-0"

OWNER	: EUN HA CHI
PROJECT	: PROPOSED COMMERCIAL BLDG.
LOCATION	: 7010-2-R4, YIGO, GUAM
SHEET CONTENTS	: DRAINAGE PLAN
DRAWING NO.	: C - 3



■ LEGEND/SYMBOLS/ABBREVIATIONS

EXISTING	NEW	DESCRIPTION
---	---	PROPERTY

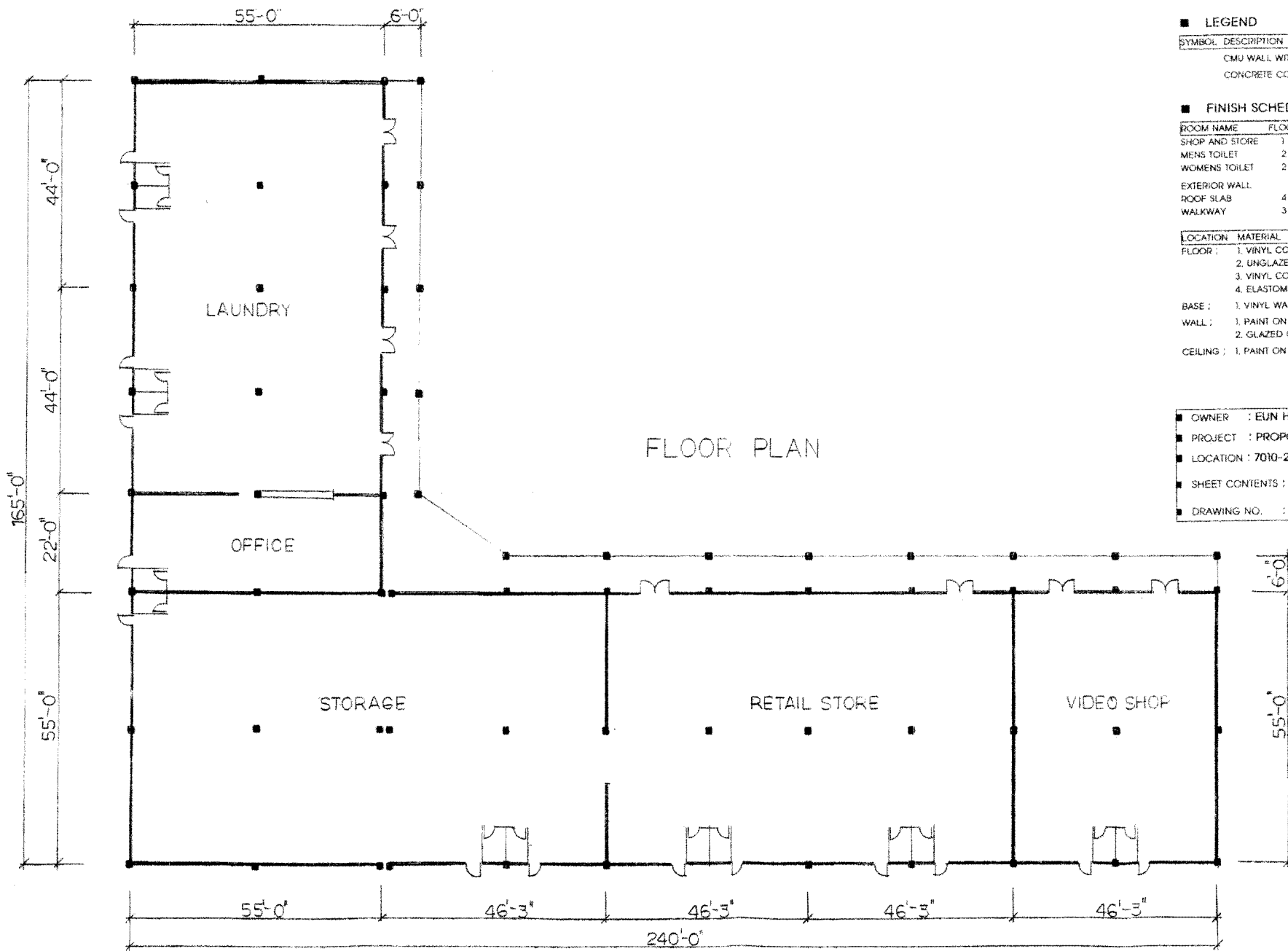
■ SCOPE OF WORK

MARK	DESCRIPTION
①	8" THK. CMU FENCE - 6'-0" HIGH
②	CONCRETE CURB
③	CHINESE BETEL - NUT PALM
④	WEDELIA
⑤	UMBRELLA TREE
⑥	GRASS

MACHECHE ROAD

1 LANDSCAPING PLAN
 C-4 SCALE 3/8" = 10'-0"

OWNER	: EUN HA CHI
PROJECT	: PROPOSED COMMERCIAL BLDG.
LOCATION	: 7010-2-R4, YIGO, GUAM
SHEET CONTENTS	: LANDSCAPING PLAN
DRAWING NO.	: C - 4



FLOOR PLAN

■ **LEGEND**

SYMBOL	DESCRIPTION
(Symbol)	CMU WALL WITH 1/2" THK. PLASTERING
(Symbol)	CONCRETE COLUMN

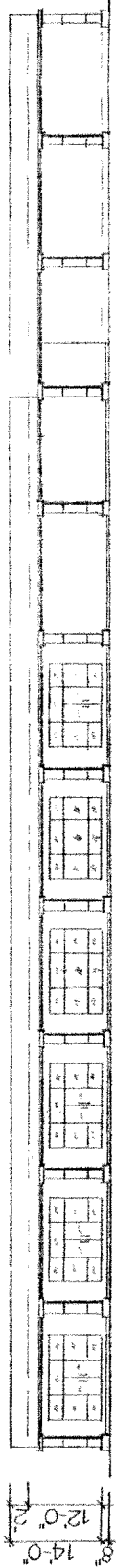
■ **FINISH SCHEDULE**

ROOM NAME	FLOOR	BASE	WALL	CEILING
SHOP AND STORE	1	1	1	1
MENS TOILET	2		2	1
WOMENS TOILET	2		2	1
EXTERIOR WALL			1	
ROOF SLAB	4			
WALKWAY	3		1	1

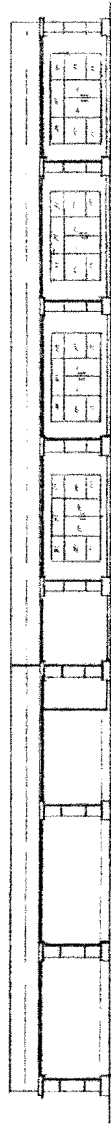
■ **LOCATION MATERIAL**

LOCATION	MATERIAL
FLOOR :	1. VINYL COMP. TILE FOR ALL INDOOR FLOOR 2. UNGLAZED CERAMIC FLOOR TILE : 12" X 12" 3. VINYL COMP. TILE FOR ALL INDOOR FLOOR : 4. ELASTOMETRIC ROOF COATING (60 MIL)
BASE :	1. VINYL WALL BASE FOR ALL INDOOR
WALL :	1. PAINT ON PLASTERING 2. GLAZED CERAMIC TILE : 12" X 18"
CEILING :	1. PAINT ON EXPOSED CONCRETE CEILING

■ **OWNER :** EUN HA CHI
 ■ **PROJECT :** PROPOSED COMMERCIAL BLDG.
 ■ **LOCATION :** 7010-2-R4, YIGO, GUAM
 ■ **SHEET CONTENTS :** FLOOR PLAN
 ■ **DRAWING NO. :** A - 1

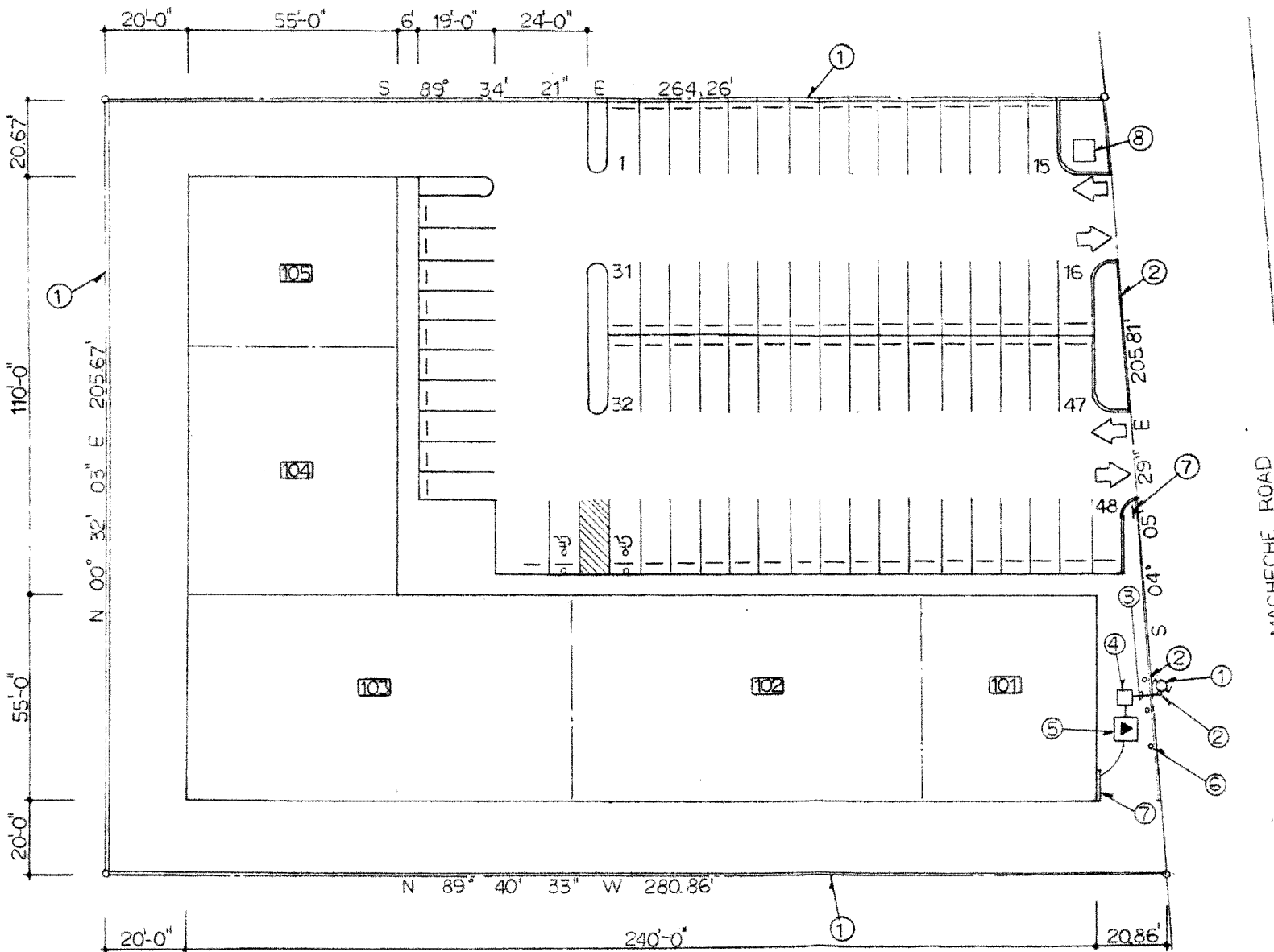


RIGHT SIDE ELEVATION



FRONT ELEVATION

OWNER : EUN HA CHI
PROJECT : PROPOSED COMMERCIAL BLDG.
LOCATION : 7010-2-R4, YIGO, GUAM
SHEET CONTENTS : ELEVATIONS
DRAWING NO. : A - 2



■ GPA NOTES

1. APPLICATION OF POWER MUST BE SUBMITTED 8 MONTHS IN ADVANCE BEFORE ACTUAL SERVICE CONNECTION TO ALLOW FOR DELIVERY OF GPA MATERIALS AND EQUIPMENT.
2. OWNER MUST GRANT EASEMENT FOR THE ROUTING AND LOCATION OF UNDERGROUND POWER LINES AND EQUIPMENT.
3. OWNER/CONTRACTOR MUST COORDINATE WITH GPA FOR THE INSPECTION OF TRENCH, CONDUIT LAYOUT, HANDHEAD, PAD & ETC. 48 HOURS ADVANCE NOTICE IS REQUIRED.
4. ALL CONDUITS MUST BE CLEANED AND MANDRELLED IN THE PRESENCE OF GPA INSPECTOR.
5. ALL CONDUIT MUST BE PROVIDED WITH NYLON ROPE PULL WIRE OF 200 LBS. MINIMUM PULL STRENGTH.
6. ALL UNDERGROUND DUCTS, BENDS AND ELBOWS SHALL BE CONCRETE ENCASED THROUGHOUT THE WHOLE ROUTE.
7. ALL ABOVE GROUND GPA CONDUITS SHALL BE RIGID ALUMINUM CONDUIT. ALL BELOW GRADE GPA CONDUIT SHALL BE CONCRETE ENCASED PVC SCHEDULE 40.
8. GPA HANDHOLE, TRANSFORMER AND METER SHALL BE ACCESSIBLE 24 HOURS A DAY FOR MAINTENANCE AND METER READING.
9. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST NATIONAL ELECTRICAL CODE (NEC) AND NATIONAL ELECTRICAL SAFETY CODE (NESC).
10. CONTRACTOR/OWNER SHALL IDENTIFY THE REGISTERED LAND SURVEYOR (RLS) PROPERTY MARKERS/POINTS TO THE GPA INSPECTOR AT THE JOB SITE.
11. PROVIDE 3 FEET MIN. CLEARANCE ALL AROUND HAND HOLES, TRANSFORMERS, AND METERING EQUIPMENT FROM FENCE, WALLS, AND STRUCTURES.
12. CONTRACTOR/OWNER SHALL OBTAIN A REGISTERED LAND SURVEYOR TO PROVIDE NEW POLE STAKEOUT AND DOWN-GUY LOCATIONS. COORDINATE WITH GPA ENGINEERING FOR SPECIFIC REQUIREMENTS.
13. CONTRACTOR/OWNER SHALL OBTAIN A REGISTERED LAND SURVEYOR TO PREPARE EASEMENT EXHIBITS FOR GPA POLES, HANDHOLES, TRANSFORMERS, OVERHEAD/ UNDERGROUND POWER LINES AND OTHER ASSOCIATED POWER FACILITIES. COORDINATE WITH GPA ENGINEERING FOR SPECIFIC REQUIREMENTS.
14. ALL SURVEY STAKEOUTS, MAPS, AND EASEMENT DOCUMENTS SHALL BE FIELD VERIFIED BY GPA.

■ SCOPE OF WORK

MARK	DESCRIPTION
①	CONC. POWER POLE
②	2-4" CONDUIT ALUM. RISER
③	2-4" CONDUIT WITH CONC. ENC.
④	5'x4'x5' PRIMARY CONC. HANDHOLE
⑤	PAD MOUNTED TRANSFORMER
⑥	GUARD POST
⑦	2-4" C. AND 2-2" C. WITH CONC. ENC.
⑧	2'x4'x3" SECONDARY CONC. HANDHOLE
⑨	MANUEL TRANSFOR SWITCH
⑩	METERING SERVICE
⑪	GENERATOR
⑫	PANEL "A" TO PANEL "P" (16 PANELS)

- OWNER : EUN HA CHI
 ■ PROJECT : PROPOSED COMMERCIAL BLDG.
 ■ LOCATION : 7010-2-R4, YIGO, GUAM
 ■ SHEET CONTENTS : ELECTRICAL SITE PLAN
 ■ DRAWING NO. : E - 1

① ELECTRICAL SITE PLAN
 E-1 SCALE 3/8" = 10'-0"

BASIS OF DESIGN

STORM DRAINAGE CALCULATION

FOR

LOT 3, BLOCK 3, TRACT 172
DEDEDO, GUAM

DESIGN OF STORM DRAINAGE CALCULATION

1.0 DESIGN CRITERIA

1.1 EXCEEDANCE FREQUENCY	5 % STORM DRAINAGE SYSTEM
1.2 RAINFALL INTENSITY	2.6 iph AT 5 % PERCENT EXCEEDANCE - 1 HOUR RAINFALL
1.3 TIME OF CONCENTRATION	10 MINUTES MINIMUM - PIPE SYSTEM AND LAND TRAVEL DRAINING 100 ACRES OR LESS
1.4 VELOCITY RANGE	2 FPS MINIMUM, 10 FPS MAXIMUM
1.5 ROUGHNESS COEFFICIENT, n	0.015
1.6 RUN-OFF COEFFICIENT, c	
1.6.1 A.C. OR CONCRETE	0.90
1.6.2 ROOF	0.95
1.6.3 GROUND	0.65
1.7 ASSUME PERCOLATION RATE	0.496 INCH PER MINUTE 0.0413 FEET PER MINUTE

2.0 REFERENCES

- 2.1 GUAM STORM DRAINAGE MANUAL
- 2.2 FLOODING AND DRAINAGE MANUAL, CORPS OF ENGINEERS

3.0 ATTACHMENTS

- 3.1 FIGURE 5-8, 5-20, 5-32 OF THE GUAM STORM DRAINAGE MANUAL
- 3.2 FIGURE 6.1 DEPTH-DURATION GRAPH OF THE GUAM STORM DRAINAGE
MANUAL,

1. DETERMINE OF RAINFALL INTENSITY I AT VARIOUS TIME INTERVAL;

DURATION	DEPTH (INCH)	INTENSITY (IN/HR.)
30 MIN.	2.50	5.00
1 HR..	3.20	3.20
2 HR..	4.30	2.15
3 HR..	5.00	1.67
6 HR..	6.70	1.11

2. DETERMINE RUN-OFF COEF. "C"

a) PAVED PARKING	33,654 SF	= 0.74 AC.
b) BUILDING	22,336 SF	= 0.49 AC
TOTAL AREA	55,990 SF	= 1.23 AC

COMPUTATION OF "C"

a) PAVED PARKING	0.74 / 1.23	x 0.90	= 0.54
b) BUILDING	0.49 / 1.23	x 0.95	= 0.38
TOTAL "C"			= 0.92

3. RUN-OFF COEFFICIENT "C" = 0.92

4. INFLOW VOLUME, Q AT DIFF. RAINFALL INTENSITIES WITH CORRESPONDING TIME INTERVALS

DURATION	INTENSITY (IN/HR.)	FLOW RATE Q = CIA	INFLOW VOLUME (CF)
30 MIN.	5.0	5.658	10,184
1 HR..	3.2	3.621	13,036
2 HR..	2.15	2.432	17,517
3 HR..	1.67	1.889	20,409
6 HR..	1.11	1.256	27,131

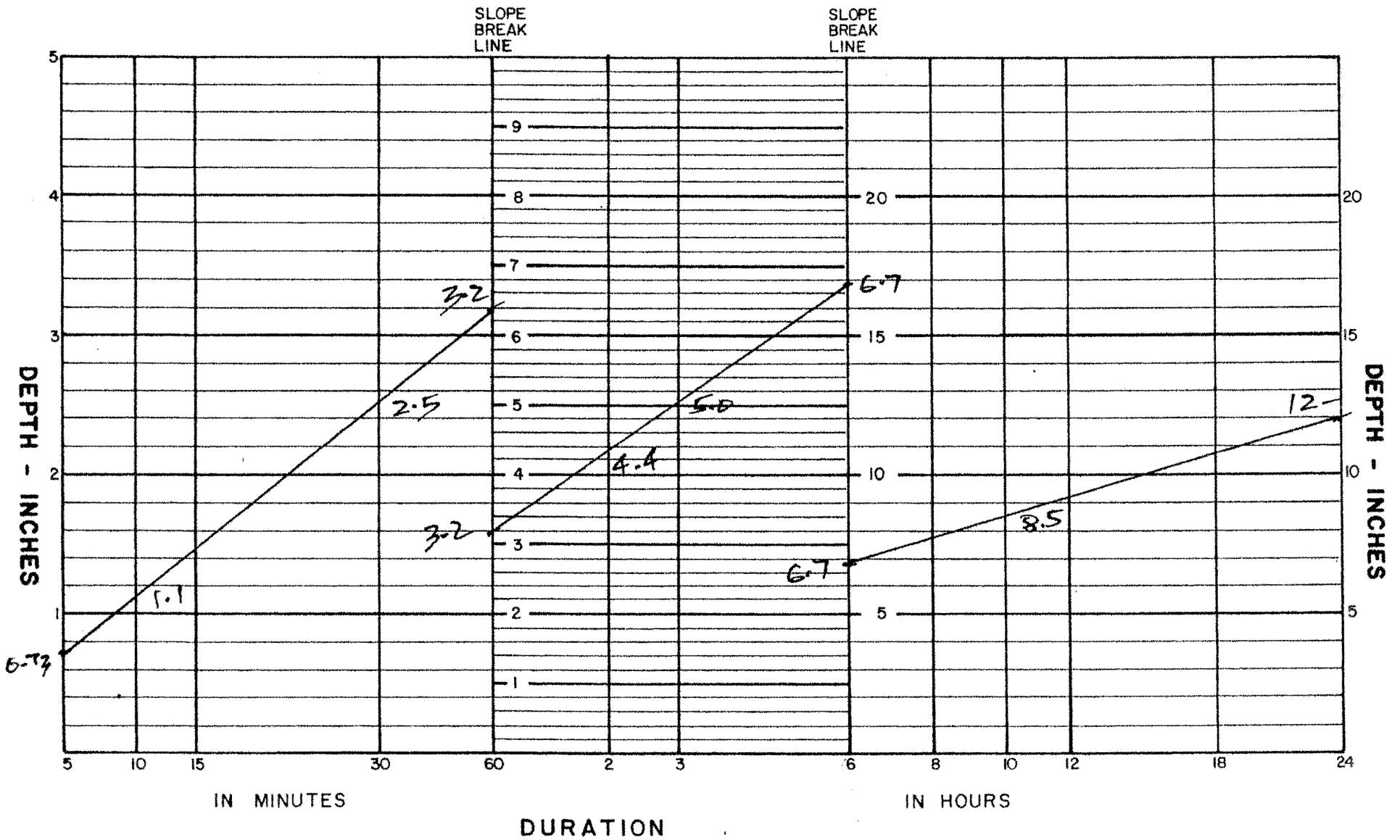
5. PERCOLATION & STORAGE CALCULATIONS

TRY FRENCH DRAIN AREA	= 4' W. X 500' LG. = 2,000 SF
DESIGN PERCOLATION RATE	= 0.496 INCH / MINUTE
AS PER GEO-ENG'G & TESTING	= 0.0413 FT / MIN.

DURATION	INFLOW VOLUME (CF)	OUTFLOW VOLUME (CF)	REQUIRED STORAGE VOLUME (CF)
30 MIN.	10,184	2,478	7,706
1 HR..	13,036	4,956	8,080
2 HR..	17,517	9,912	7,605
3 HR..	20,409	14,868	5,541
6 HR..	27,131	29,736	- 2,605

6. MAXIMUM REQUIRED STORAGE = 8,080 CF

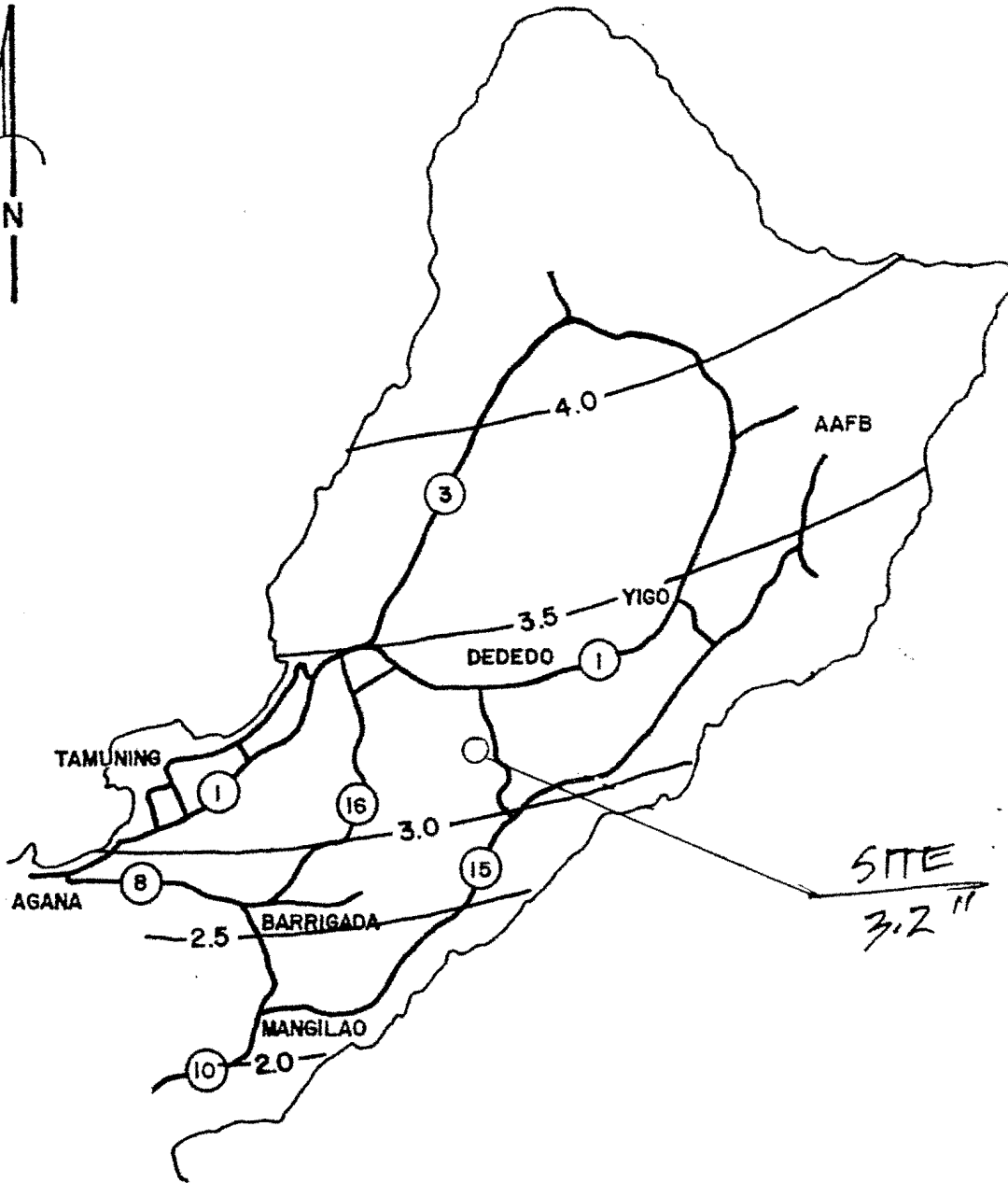
TRIAL FRENCH DRAIN BASIN = 4'W. x 500' LG. x 4.1' D = 8,200 CF > 8,080 CF



NOTE: 5 - MIN = 0.23 x 1-HR

$$= 0.23 \times 3.2 = 0.736$$

FIGURE 6-1: DEPTH - DURATION GRAPH



GRAPHIC SCALE

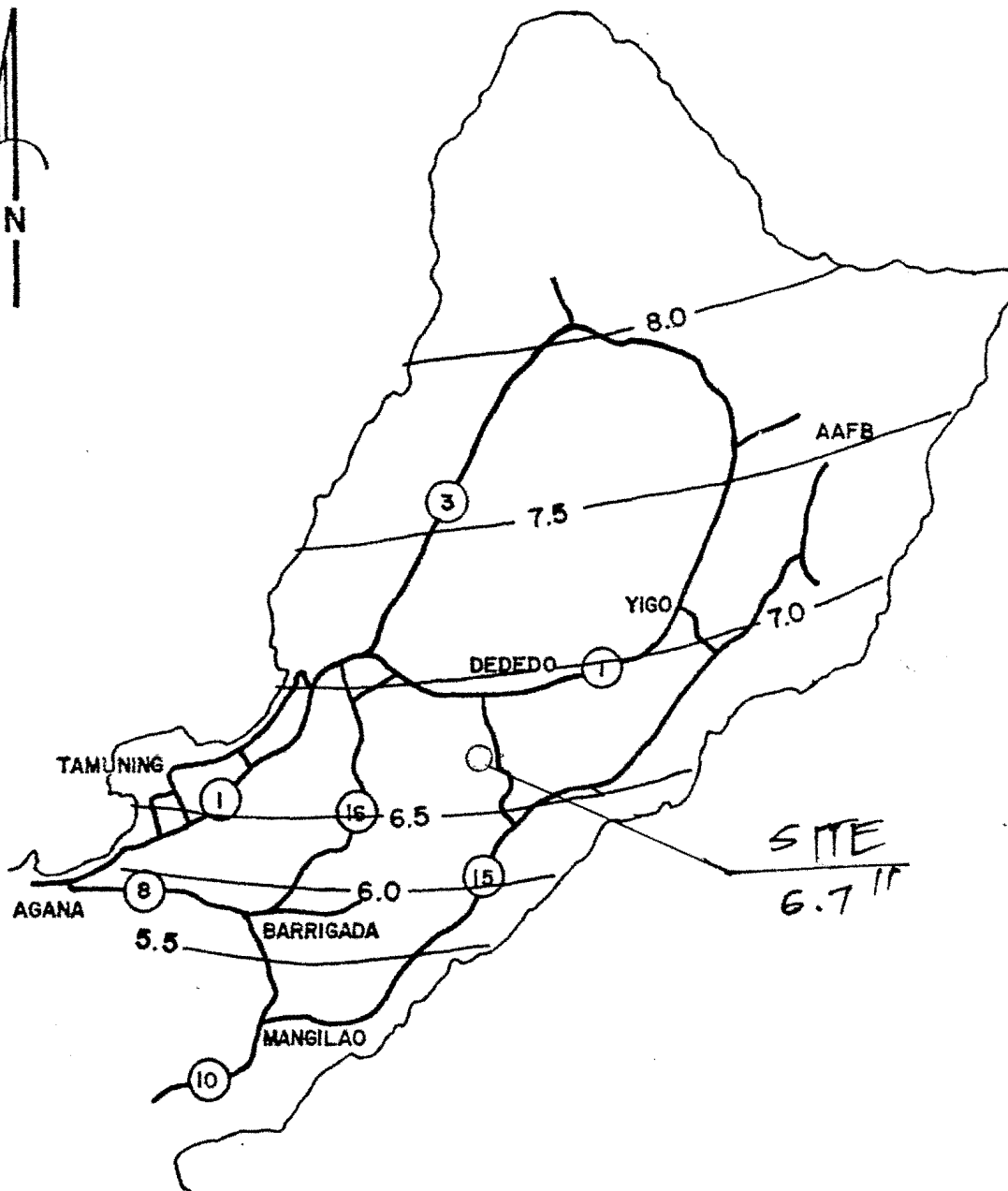


MILES

GUAM STORM DRAINAGE MANUAL
GUAM COMPREHENSIVE STUDY
U. S. Army Corps of Engineers
Honolulu District

• NORTH GUAM
1 HOUR RAINFALL, IN INCHES
AT 5% EXCEEDANCE FREQUENCY

FIGURE 5 - 8



GRAPHIC SCALE

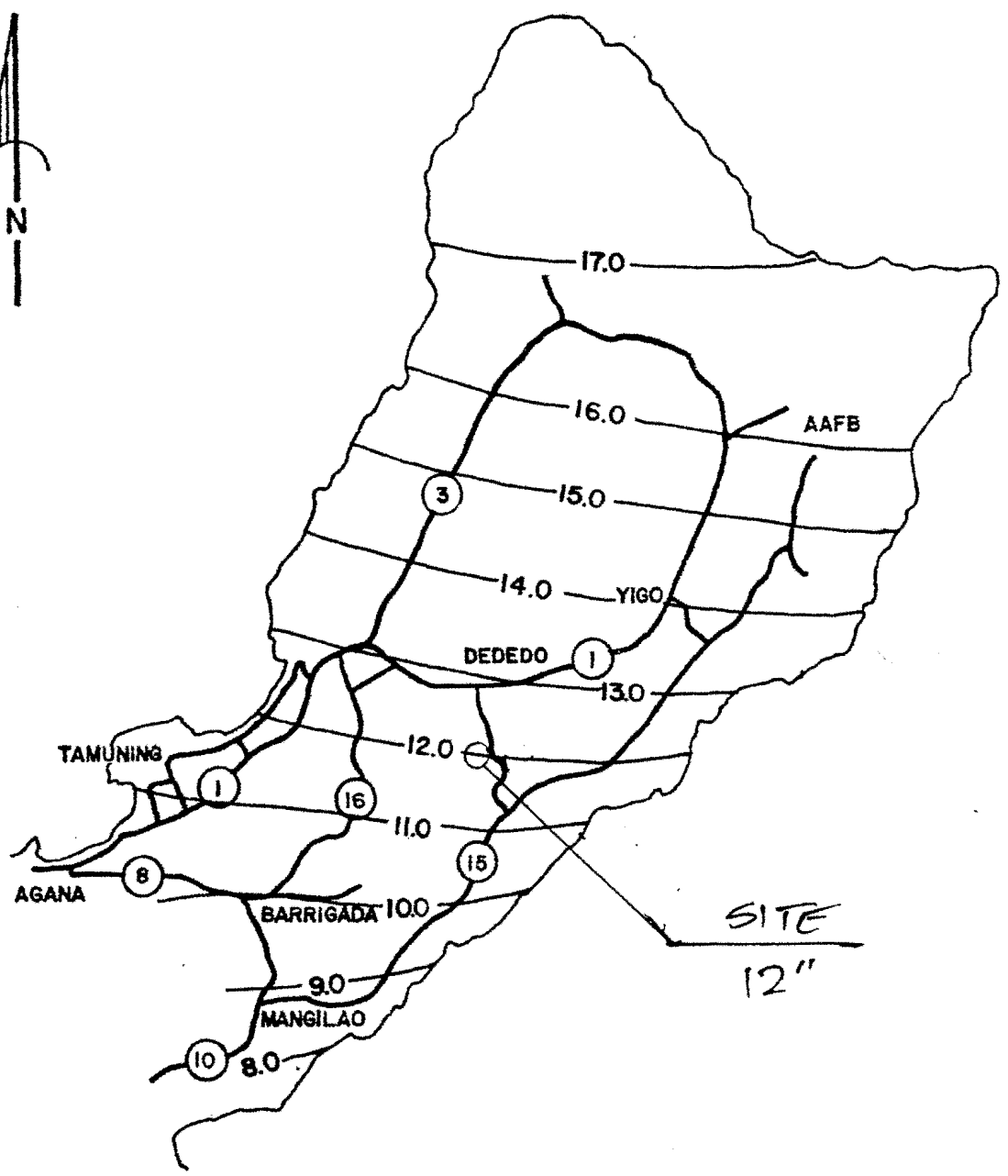


MILES

GUAM STORM DRAINAGE MANUAL
GUAM COMPREHENSIVE STUDY
U. S. Army Corps of Engineers
Honolulu District

NORTH GUAM
6 HOUR RAINFALL, IN INCHES
AT 5% EXCEEDANCE FREQUENCY

FIGURE 5 - 20



GRAPHIC SCALE



MILES

GUAM STORM DRAINAGE MANUAL
GUAM COMPREHENSIVE STUDY
U. S. Army Corps of Engineers
Honolulu District

- NORTH GUAM
24 HOUR RAINFALL, IN INCHES,
AT 5% EXCEEDANCE FREQUENCY

FIGURE 5 - 32

BASIS OF DESIGN

COLD WATER SUPPLY AND SEWER SYS

FOR

LOT 3, BLOCK 3, TRACT 172
DEDEDO, GUAM

WASTE WATER PIPE

REFERENCE : GWA STANDARD OF SEWER SYSTEM
UNIFORM PLUMBING CODE 1997 EDITION

ACTUAL CALCULATED FIXTURE UNITS

TABULATED EQUIVALENT FIXTURE UNITS

FIXTURE	NO. OF FIX. UNITS	NO. OF FIX. VALUE	TOTAL NO. OF FIXTURE UNITS
WATER CLOSET	15	3	45
LAVATORY	15	3	45
HAND SINK	15	2	30
MOP SINK	15	2	30
WASHING MACHINE	32	2	64
GRAND TOTAL OF NUMBER OF FIXTURE UNITS			214 FU

PER TABLE 4 OF UNIFORM PLUMBING CODE
MAXIMUM LOADING OF 6" DIAMETER HORIZONTAL SEWAGE PIPE IS 720 FIXTURE UNIT

ACTUAL CALCULATED MAXIMUM NUMBER OF UNITS IS = 214 FU

CONVERT FIXTURE UNIT TO GAL PER DAY BASED ON UNIFORM PLUMBING CODE TABLE 3

500 FU = 124 GPM

CONVERT 214 FU TO GAL PER MIN.

$500 \text{ FU} / 214 \text{ FU} = 124 \text{ GPM} / X$

$X = 53.07 \text{ GAL.} / \text{MIN.}$

AVERAGE USE AT 60 MIN. INTERVAL

DEMAND "Q" = $53.07 \text{ GAL./MIN.} \times 24 \text{ HR.} / \text{DAY} \times 60 \text{ MIN.} / \text{HR.} = 76,420.8 \text{ GPD}$

COMPUTE ACTUAL CAPACITY OF 6" PIPE WITH MIN. OF SLOPE OF 0.02

$$Q = \frac{(A)(1.486) R^{2/3} (S)^{1/2}}{n}$$

$$A=0.1963 \quad C=1.486 \quad (R)^{2/3}=0.30686 \quad (S)=0.0447 \quad n=0.012$$

$$Q = 0.3334 \text{ CFS} = 28,805 \text{ CFD (CU. FT. PER DAY)}$$

CONVERT DFS TO GPD

$$Q = 28,805 \text{ CFD} \times 7.48 = 215,461 \text{ GPD}$$

$$Q \text{ DEMAND} = 76,420.8 \text{ GPD} < Q \text{ ACTUAL} = 215,461 \text{ GPD}$$

THREFORE 6" MAIN SEWER PIPE IS SUFFICIENT FOR THIS DEVELOPMENT

POTABLE WATER PIPE

REFERENCE : GWA STANDARD OF SEWER SYSTEM
UNIFORM PLUMBING CODE 1997 EDITION

USE ACTUAL FUTURE UNIT COUNTING

TABULATED EQUIVALENT FIXTURE UNITS

FIXTURE	NO. OF FIX. UNITS	NO. OF FIX. VALUE	TOTAL NO. OF FIXTURE UNITS
WATER CLOSET	15	3	45
LAVATORY	15	3	45
HAND SINK	15	2	30
MOP SINK	15	2	30
WASHING MACHINE	32	2	64
GRAND TOTAL OF NUMBER OF FIXTURE UNITS			214 FU

PER TABLE 7-5 OF UNIFORM PLUMBING CODE THE CAPACITY OF 4" PIPE IS 216 FU
WHICH IS EQUAL TO 130 GPM

ACTUAL CALCULATED MAXIMUM NUMBER OF UNITS IS = 214 FU

CONVERT FIXTURE UNIT TO GAL PER DAY

500 FU = 124 GPM

CONVERT 214 FU TO GAL PER MIN.

$500 \text{ FU} / 214 \text{ FU} = 124 \text{ GPM} / X$

$X = 53.07 \text{ GAL.} / \text{MIN.}$

AVERAGE USE AT 60 MIN. INTERVAL

DEMAND "Q" = $53.07 \text{ GAL/MIN.} \times 24 \text{ HR.} / \text{DAY} \times 60 \text{ MIN.} / \text{HR.} = 76,420.8 \text{ GPD}$

THE REQUIRED FLOW FOR 53.07 GPM < ACTUAL CAPACITY OF 4" PIPE = 130 GPM

BASIS OF DESIGN

ELECTRICAL CALCULATIONS

FOR

LOT 3, BLOCK 3, TRACT 172
DEDEDO, GUAM

ELECTRICAL DESIGN ANALYSIS

DEMAND LOAD – RETAIL STORE PANEL “A”

DESCRIPTION	C.L.	D.F.	D.L.
LIGHTS	5.0	1.0	5.0
RECEPTACLE	7.2	1.0	7.2
SIGN BOARD	1.5	1.0	1.5
FAN	1.0	1.0	1.0
AIR CON	5.0	1.0	5.0
FCU	1.5	1.0	1.5
REF	16.5	1.0	16.5
FREEZER	24.0	1.0	24.0
RECEPTACLE	4.8	1.0	4.8
MEAT SLICER	4.5	1.0	4.5
SPARE	4.0	0.25	1.0
	75.0 KVA		72.0 KVA

$$D.F. = 73.0 \text{ KVA} / 79.0 \text{ KVA} = 0.924$$

$$I = 73.0 \text{ KVA} / 0.36 = 202.77 \text{ AMPS}$$

USE 120/208 VOLTS, 3P, 4W, 250 AMPS MAIN BREAKER
AND 4#250 MCM WIRE IN 3" C.

DEMAND LOAD –PANEL “B”, “C”, “D”, “E”, “F”, “G”, “H”, “I”, “J”, “K”, “L”, “M”,

DESCRIPTION	C.L.	D.F.	D.L.
LIGHTS	5.0	1.0	5.0
RECEPTACLE	7.2	1.0	7.2
SIGN BOARD	1.5	1.0	1.5
FAN	1.0	1.0	1.0
AIR CON	5.0	1.0	5.0
FCU	1.5	1.0	1.5
SPARE	6.0	0.25	1.5
	27.2 KVA		22.7 KVA

$$D.F. = 22.7 \text{ KVA} / 27.2 \text{ KVA} = 0.83$$

$$I = 22.7 \text{ KVA} / 0.36 = 63.05 \text{ AMPS}$$

USE 120/208 VOLTS, 3P, 4W, 100 AMPS MAIN BREAKER
AND 4#2/0 AWG THWN WIRE IN 2-1/2"C.

DEMAND LOAD – LAUNDRY PANEL "N"

DESCRIPTION	C.L.	D.F.	D.L.
LIGHTS	5.0	1.0	5.0
RECEPTACLE	10.4	1.0	10.4
GAS DRYER IGNITER	2.0	1.0	2.0
GAS HEATER IGNITER	1.0	1.0	1.0
SIGN BOARD	3.0	1.0	3.0
WASHING MACHINE	16.8	1.0	16.8
EXH. FAN	1.5	1.0	1.5
ROLL UP DOOR	3.0	1.0	3.0
A.C	7.0	1.0	7.0
SPARE	4.0	0.25	1.0
	53.7 KVA		50.7 KVA

$$D.F. = 50.7 \text{ KVA} / 53.7 \text{ KVA} = 0.95$$

$$I = 50.7 \text{ KVA} / 0.36 = 140.83 \text{ AMPS}$$

USE 120/208 VOLTS, 3P, 4W, 200 AMPS MAIN BREAKER
AND 4#4/0, 1#2 GRD. WIRE IN 2-1/2"C.

DEMAND LOAD – COMMON PANEL “LP”,

DESCRIPTION	C.L.	D.F.	D.L.
LIGHTS	6.0	1.0	6.0
FACP	1.5	1.0	1.5
SPARE	7.0	1.0	7.0
	14.5 KVA		14.5 KVA

$$\begin{aligned} \text{D.F.} &= 14.5 / 14.5 = 1.0 \\ \text{I} &= 14.5 / 0.36 = 40.28 \text{ AMPS} \end{aligned}$$

USE 120/208 VOLTS, 3P, 4W, 70 AMPS MAIN BREAKER
AND 4#2 AWG THWN WIRE IN 1-1/2"C.

TOTAL DEMAND LOAD

PANEL “A”, “B”, “C”, “D”, “E”, “F”, “G”, “H”, “I”, “J”, “K”, “L”, “M” AND “LP”
= 72.0 KVA + 22.7 KVA (x 12) + 50.7 KVA + 14.5 KVA = 409.6 KVA

$$\text{I} = 409.6 \text{ KVA} / 0.36 = 1,137.77 \text{ AMPS}$$

USE 120/208 VOLTS, 3P, 4W, 1200 AMPS MAIN BREAKER
AND 4 SETS OF 4#400 MCM AND 1 # 2/0 GRD. WIRE IN 4" C.

**GUAM ENVIRONMENTAL PROTECTION AGENCY
ENVIRONMENT IMPACT ASSESSMENT**

CASE NO.: _____ PROJECT TITLE: Proposed Commercial Building

APPLICATION FOR A FINDING OF NO SIGNIFICANT IMPACT

1. **Name, address and business telephone of applicant:**

Chi Construction
P.O. Box 9157
Tamuning, Guam 96931
(671) 637-8780

2. **Name and title of representative if applicant is a business or governmental agency:**

Ignacio F. Santos
Land Use Consultant
(671) 777-3862

3. **Location of proposed project: (Include tract, lot, municipality and a location map)**

Lot No. 3, Block 3, Tract 172
Municipality of Dededo
It is specifically located along Macheche Avenue or approximately 685 feet north from the intersection of Alageta Street and Macheche Avenue. Located across the project site is the northern entrance of Las Palmas, a multi-family development. The ingress and egress to the project site (Macheche Avenue) is a 70 feet wide public access and utility easement which connects Route 1 to Route 15. (See Vicinity Map)

4. **General nature of project: (i.e. single family residence, gas station, parking lot, etc.)**

The general nature of the project will specifically be for a commercial building.

5. Are any of the following critical environmental factors affected by the proposed project? If yes, describe the impact, otherwise enter "none".

ENVIRONMENTAL FACTOR	IMPACT
Archaeological Feature	"None"
Critical Habitat Area	"None"
Groundwater recharge Area	"Yes*"
Marine Waters	"None"
Pristine Forest	"None"
Reef Flats	"None"
Streams, Lakes or Ponds	"None"
Watersheds	"None"
Wellhead Protection Zone	"None"
Wetlands	"None"

*The project site or property is located within ground water protection zone. Impacts from the proposed project onto this constraint will be kept to a minimum. The proposed project plans to connect to a public wastewater system.

6. Will the project result in any of the following environmental impacts:

Production of toxic or hazardous waste?

No. The proposed project will not involve the production of any toxic or hazardous waste.

Dislocation of existing business?

No. The location of the proposed project will not dislocate any of the existing businesses within the area. The nearest business establishment is a retail store located along Macheche Avenue.

Dislocation of existing residences?

No. The proposed project does not anticipate an adverse impact to the existing residences of the area as the proposed project will be enclosed

with concrete walls and landscaping. A Land-use within the periphery of the project site consists of single and multi-family dwellings, Church, and a retail store.

Dislocation of existing public areas?

No. The proposed project will not dislocate any of the existing public areas within the vicinity. The nearest public facility is located miles from the project site.

Production of air contaminants?

No. The proposed project will not involve the production of any air contaminants.

Increase in the requirements for drinking water supply?

Yes. Although the proposed project is not expected to significantly increase the requirements of drinking water supply. The estimate on the daily water demand of the project will have an average flow of 215,461 gallons per day or 149.63 gallons per minute. (See Calculations)

Increase in the requirements for sewage disposal?

The project will result in an increase in the requirements for sewage disposal. Any sewage attributed from the proposed project will be disposed of via a public wastewater system. The estimate on the daily sewage demand of the project will have an average flow of 76,420.8 gallons per day or 130 gallons per minute. (See Calculations)

Increase in the requirements for vehicle traffic?

The requirements for vehicle traffic will not result in an increase. The proposed project will be servicing of the existing traffic and residents in the area. Based on proposed improvements, the flow of vehicle traffic should not be disruptive to affect the normal living patterns of the area.

Clearing and grading?

The project site exhibits a relatively flat area. Previous clearings have occurred, however, a lack of maintenance has resulted with property being

occupied by overgrown vegetation. A clearing permit will be required before the actual start of construction.

On-site, individual wastewater disposal system?

The project will not be installing an on-site wastewater disposal system.

Above ground or below ground storage tank?

The project will not require a storage tank above or below ground level.



VICINITY MAP

Island of Guam, Government of Guam
 Department of Land Management Office of the Recorder

File for Record is Instrument No. **819470**

On the Year 11, Month 03, Day 28, Time 9:18

Recording Fee 900 Receipt No. _____

Deputy Recorder [Signature]

SECURITY
 TITLE INC.

WARRANTY DEED

TO ALL WHOM THESE PRESENTS MAY COME, GREETINGS:

We, **RAUL V. CRUZ AND ROSARIO E. CRUZ**, whose mailing address is 153 B Salas St., Bordallo Subd. Bordallo Subd. Yigo, GU 96929, hereinafter referred to as "**GRANTOR**", for TEN DOLLARS (\$10.00) and other good and valuable consideration paid by **CHI CONSTRUCTION, INC.**, whose mailing address is P.O. Box 9157, Tamuning, GU 96931, hereinafter referred to as "**GRANTEE**", do hereby grant, bargain, sell and convey unto GRANTEE, and GRANTEE'S heirs, administrators, executors, successors and assigns, in fee simple, the following described real property in the MUNICIPALITY OF **DEDEDO**:

Lot 3, Block 3, Tract 172, Dededo, Guam, Estate Number 14389, Suburban, as said Lot is described in that Agricultural Subdivision of Lot 10065 Tract 172, as shown on Drawing Number ISL 10-66-D629, dated 15 November 66 and recorded on 28 November 66 under Instrument No. 78560 at Land Management.

For informational purposes only, the above referenced map indicates the property contains an area of 5,966 ± square meters.

Certificate of Title Number: 78094 – Raul V. Cruz and Rosario E. Cruz, husband and wife.

TOGETHER with all and singular the tenements, privileges, hereditaments, and appurtenances, whatsoever belonging or in anywise appertaining, and the reversion or reversions, remainder or remainders, rents, issue and profits thereof, and all the estate, rights, title interest,

property, claim and demand whatsoever of the said GRANTOR, at law or in equity, in and to the same.

TO HAVE AND TO HOLD the same, together with all tenements, hereditaments, and appurtenances hereunto belonging and in anywise appertaining unto the said GRANTEE, its heirs, and executors administrators and assigns, forever.

AND GRANTOR DOES HEREBY for itself and its assigns, covenant with said GRANTEE, its heirs, and executors, administrators and assigns; that GRANTOR is lawfully seized in fee of the granted premises; that it is free from all encumbrances other than:

1. *Real property taxes for the year 2011 not yet due and payable.*
2. *40' Right of Way access easement located on the property, as disclosed by that Agricultural Subdivision of Lot 10065 Tract 172, as shown on Drawing Number ISL 10-66-D629, dated 15 November 66 and recorded on 28 November 66 under Instrument No. 78560 at Land Management.*

That to sell the same as aforesaid; that GRANTOR shall warrant and defend the same to the said GRANTEE, its heirs, and assigns, forever against the lawful claims and demands of all persons.

AND GRANTEE, for itself and its successors and assigns do hereby acknowledge and confirm that water and power are **CB** are not _____ immediately available on the property or within 100 feet of the property described above.

IN WITNESS WHEREOF, this instrument has been executed this 25TH day of March 2011.

GRANTOR:

Raul V. Cruz
RAUL V. CRUZ

GRANTOR:

Rosario E. Cruz
ROSARIO E. CRUZ

GUAM, U.S.A } SS
CITY OF TAMUNING

On this 25TH day of March 2011, before me, a Notary Public in and for GUAM, U.S.A., personally appeared **RAUL V. CRUZ AND ROSARIO E. CRUZ**, and they acknowledged to me that they executed the foregoing **WARRANTY DEED**, as their voluntary act and deed for the purposes herein set forth.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my seal the day and year first above written.

[Signature]
NOTARY PUBLIC
My commission expires:

JAMES LESTER C. SANTIAGO
NOTARY PUBLIC
In and for Guam, U.S.A.
My Commission Expires: Dec. 01, 2014
865 S. Marine Corps Drive
Tamuning, Guam 96913

GRANTEE:

CHI CONSTRUCTION, INC.

By: *Eun Ha Chi*
EUN HA CHI
AUTHORIZED REPRESENTATIVE

GUAM, U.S.A
CITY OF TAMUNING } SS

On this 25th day of March 2011, before me, a Notary Public in and for GUAM, U.S.A., personally appeared **EUN HA CHI**, as the **Authorized Representative for and on behalf of CHI CONSTRUCTION, INC.**, and he acknowledged to me that he executed the foregoing **WARRANTY DEED**, as his voluntary act and deed for the purposes herein set forth.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my seal the day and year first above written.

[Signature]
NOTARY PUBLIC
My commission expires:

JAMES LESTER C. SANTIAGO
NOTARY PUBLIC
In and for Guam, U.S.A.
My Commission Expires: **Dec. 01, 2014**
865 S. Marine Corps Drive
Tamuning, Guam 96913